



**1018 Hartford Tpke.
Waterford, Connecticut 06385**

CONTRACTOR
Carlin Construction
5 Shaws Cove, Suite 103
New London CT 06320
860.444.2567

ARCHITECT
Stabach Architects, LLC
335 Griswold Road
Wethersfield, CT 06109
TEL. 860.798.1573

**ISSUED FOR OWNER REVIEW
03.09.26**

ABBREVIATIONS

A AV AUDIO VISUAL ACST ACOUSTICAL AD AREA DRAIN ADJ ADJACENT ADR ACCESS DOOR AF ACCESS FLOOR AFF ABOVE FINISHED FLOOR AGGR AGGREGATE AL ALUMINUM ANO ANODIZED AP ACCESS PANEL APROX APPROXIMATE(LY) ARCH ARCHITECT(URAL) ASPH ASPHALT ACT ACOUSTIC CEILING TILE AUTO AUTOMATIC AUX AUXILIARY B BO BOTTOM OF BD BOARD BV BEVELED BG BUMPER GUARD BLDG BUILDING BLK BLOCK (WOOD BLOCKING) BM BEAM BRK BRICK BRZ BRONZE BSMT BASEMENT C CBD CEMENT BOARD CG CORNER GUARD(S) CJ CONTROL JOINT CL CENTER LINE CLG CEILING CLG HT CEILING HT CLO CLOSET CLR OPNG CLEAR OPENING CMU CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN CONC CONCRETE CONT CONTINUOUS CONV CONVECTOR CORR CORRIDOR CP CEMENT PLASTER CPT CARPET(ED) CS CONCRETE SEALER CT CERAMIC TILE CTR CENTER CU CUBIC CW CURTAIN WALL D DB DECIBEL DBL DOUBLE DEG DEGREE(S) DEPT DEPARTMENT DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DISP DISPENSER DIV DIVIDE / DIVISION DN DOWN DP DEMOUNTABLE PARTITION DR DRAINAGE DW DRYWALL DWG DRAWING	E EA EAST EHD ELECTRIC HAND DRYER EJ EXPANSION JOINT EL ELECTRICAL ELEC CL ELECTRICAL CLOSET ELEV ELEVATOR EMER EMERGENCY ENCL ENCLOSURE / ENCLOSE(D) EQ ACCESS PANEL EQPT EQUIPMENT ESC ESCALATOR EXH EXHAUST EXP EXPOSED EXPN EXPANSION EXT EXISTING EXT EXTERIOR F FA FIRE ALARM FD FLOOR DRAIN FDM FIRE DAMPER FDN FOUNDATION FEC FIRE EXTINGUISHER CABINET FFL FINISH FLOOR LEVEL FHC FIRE HOSE CABINET FIN FINISHED FIN FL FINISH FLOOR FIN GR FINISH GRADE FLEX FLEXIBLE FLG FLASHING FLMT FLUSH MOUNTED FLR FLOOR(S) FO FINISHED OPENING FRM FRAME FRT FIRE RETARDANT TREATED WOOD FS FULL SIZE FSS FIRE STOPPING SYSTEM FSE FOOD SERVICE EQUIPMENT FT FEET (FOOT) FTG FOOTING G GA GUAGE GALV GALVANIZED GB GRAB BAR GFRG GLASS FIBER REINFORCED CONCRETE GL GLASS GL BLK GLASS BLOCK GND GROUND GR GRANITE GYP GYPSUM BOARD GWB GYPSUM WALL BOARD H HD HOSE BIB HD HEAD HDW HARDWARE HM HOLLOW METAL HDRL HANDRAIL HORIZ HORIZONTAL HP HIGH POINT HR HOUR HT HEIGHT HVAC HEATING, VENTILATING, AIR CONDITIONING	I ID INSIDE DIAMETER INCL INCLUDE(D) / INCLUSIVE / INCLUDING INFO INFORMATION INSUL INSULATION INT INTERIOR ISO ISOLATE(D) / ISOLATION J JC JANITOR CLOSET JF JOINT FILLER JT JOINT L LAB LABORATORY LAM LAMINATE LAV LAVATORY LB(S) POUNDS LF LIGHT FIXTURE LH LEFT HAND LONG LONGITUDUNAL LP LOW POINT LTG LIGHTING LVR LOUVER M MAINT MAINTAIN / MAINTENANCE MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MED MEDIUM MEZZ MEZZANINE MANU MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MLWK MILLWORK MO MASONRY OPENING MOD MODULE MP METAL PANEL MR MIRROR MTD MOUNTED MTL METAL MUL MULLION N N NORTH NA NOT APPLICABLE NC-n NOISE CRITERIA NIC NOT IN CONTRACT NO. NUMBER NOM NOMINAL NRC NOISE REDUCTION COEFFICENT NTS NOT TO SCALE O OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OFD OVERFLOW DRAIN OFF OFFICE OPNG OPENING OP OPPOSITE OPH OPPOSITE HAND	P PAR PARALLEL PART PARTIAL PC PRECAST CONCRETE PERF PERFORATED PERP PERPENDICULAR PL PLATE PLAM PLASTIC LAMINATE PLBG PLUMBING PLSTC PLASTIC PLYWD PLYWOOD POL POLISHED PR PAIR PREFAB PREFABRICATE PROP PROPERTY PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PTD PAINTED PTN PARTITION PWR POWER Q QT QUARRY TILE QTY QUANTITY R R RISER RB RESILIENT BASE RCF RAISED COMPUTER FLOOR RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECT RECTANGLE REF REFERENCE REFR REFRIGERATOR REINF REINFORCED REQD REQUIRED REV REVISION RF RESILIENT FLOORING RM ROOM RO ROUGH OPENING RH ROBE HOOK S S SOUTH SCHD SCHEDULE(D) SD SOAP DISPENSER SECT SECTION SHR SHOWER SHT SHEET SHTG SHEATHING SIM SIMILAR SJ SEALANT JOINT SK SERVICE SINK SN SANITARY NAPKIN DISPENSER SND SANITARY NAPKIN DISPOSAL SP SPECIALTY ITEM(S) SPEC SPECIFICATION SQ SQUARE SS STAINLESS STEEL SSL STRUCTURAL SLAB LEVEL STC SOUND TRANSMISSION CLASS STD STANDARD STL STEEL STOR STORAGE STRUCT STRUCTURE SURF MTD SURFACE MOUNTED SUSP SUSPENDED	T T TREAD T.O. TOP OF TA TOILET ACCESSORIES TD TRENCH DRAIN TEL TELEPHONE TEMP TEMPORARY TG TONGUE AND GROOVE THK THICK(NESS) THRES THRESHOLD T.O.C. TOP OF CURB TPD TOILET PAPER DISPENSER TYP TYPICAL U UC UNDERCUT UNFIN UNFINISHED UNO UNLESS OTHERWISE NOTED UPS UNINTERRUPTED POWER SUPPLY UR URINAL V VAR VARIES VB VAPOR BARRIER VERT VERTICAL VEST VESTIBULE V.I.F. VERIFY IN FIELD VOL VOLUME VCT VINYL COMPOSITION TILE VWC VINYL WALL COVERING W W WEST W/ WITH W/O WITHOUT WC WATER CLOSET / TOILET WCV WALL COVERING WD WOOD WDB WOOD BASE WDF WOOD FLOORING WDVR WOOD VENEER WP WORK POINT WPG WATERPROOFING MEMBRANE WR WEATHER RESISTANT WS WEATHER STRIPPING WT WEIGHT WV WOOD VENEER WWF WELDED WIRE FABRIC SYMBOLS & AND / ANGLE @ AT # NUMBER
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SYMBOLS

ROOM NAME 101	ROOM NAME ROOM NUMBER		EXTERIOR ELEVATION KEY ON PLANS
	DOOR NUMBER		INTERIOR ELEVATION KEY ON PLANS
	WINDOW TYPE		REVISION TAG
	PARTITION TYPE		GRID LINE
	CEILING HEIGHT		TRUE NORTH PROJECT NORTH NORTH ARROW
	EQUIPMENT TAG		VIEW REFERENCE
	MATERIAL TAG		SPOT ELEVATION - ELEVATION
	ELEVATION ON SECTIONS & DETAILS		SPOT ELEVATION - PLAN
			ALIGN SYMBOL
	WALL SECTION		CENTER LINE SYMBOL
	BUILDING SECTION		
	DETAIL SECTION		
	PLAN DETAIL		

LIST OF DRAWINGS

#	DRAWING NAME
GENERAL	
G-000	COVER SHEET
G-010	ABBREVIATIONS, PARTITION TYPES AND LIST OF DRAWINGS
G-020	TYPICAL ACCESSORY MOUNTING HEIGHTS AND LOCATIONS
G-100	PROJECT SPECIFICATIONS
G-101	PROJECT SPECIFICATIONS
LIFE SAFETY	
LS-101	LIFE SAFETY PLAN
ARCHITECTURE DEMO	
AD-101	FIRST FLOOR DEMOLITION PLAN
ARCHITECTURE	
A-101	FIRST FLOOR PLAN
A-102	ROOF PLAN
A-211	REFLECTED CEILING PLAN
A-300	OVERALL BUILDING ELEVATIONS
A-400	OVERALL BUILDING SECTIONS
A-600	DOOR, FRAME AND HARDWARE SCHEDULE

	UNDERSIDE OF STRUCTURE CONTINUOUS SEALANT BOTH SIDES. SEE NOTES CONTINUOUS METAL RUNNER HEAD LINE OF CEILING. SEE FINISH SCHEDULE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE. SEE NOTES FOR TYPE. STEEL STUDS AT 16" O.C., SEE SIZE BELOW PLAN SOUND ATTENUATION FIRE BATT INSULATION. SEE NOTES CONTINUOUS METAL RUNNER FASTENERS AT 2'-0" O.C. MAXIMUM WITHIN 1" OF ENDS SCHEDULED BASE CONTINUOUS SEALANT BOTH SIDES. SEE NOTES TOP OF STRUCTURE BASE	A AX METAL STUD SIZE: MATCH EXISTING OVERALL DIMENSION: MATCH EXISTING A2 METAL STUD SIZE: 1 5/8" OVERALL DIMENSION: 2 7/8" A3 METAL STUD SIZE: 2 1/2" OVERALL DIMENSION: 3 3/4" A4 METAL STUD SIZE: 3 5/8" OVERALL DIMENSION: 4 7/8" A6 METAL STUD SIZE: 6" OVERALL DIMENSION: 7 1/4" *1-HOUR RATED (UL DES. #U419) - WHERE DESIGNATED
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	CFMF CEILING FRAMING @ 16" O.C. CONTINUOUS METAL RUNNER, SEE TOP OF WALL HEIGHT IN DESIGNATION HEAD LINE OF CEILING. SEE FINISH SCHEDULE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE. SEE NOTES FOR TYPE. STEEL STUDS AT 16" O.C. SEE SIZE BELOW PLAN CONTINUOUS METAL RUNNER FASTENERS AT 2'-0" O.C. MAXIMUM WITHIN 1" OF ENDS SCHEDULED BASE CONTINUOUS SEALANT BOTH SIDES. SEE NOTES TOP OF STRUCTURE BASE	B B2 METAL STUD SIZE: 1 5/8" OVERALL DIMENSION: 2 7/8" B3 METAL STUD SIZE: 2 1/2" OVERALL DIMENSION: 3 3/4" B4 METAL STUD SIZE: 3 5/8" OVERALL DIMENSION: 4 1/4" B6 METAL STUD SIZE: 6" OVERALL DIMENSION: 7 1/4"
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	UNDERSIDE OF STRUCTURE CONTINUOUS METAL RUNNER LINE OF CEILING. SEE FINISH SCHEDULE HEAD (1) LAYER 5/8" GYPSUM BOARD. SEE NOTES FOR TYPE. STEEL STUDS AT 16" O.C. SEE SIZE BELOW PLAN CONTINUOUS METAL RUNNER FASTENERS AT 2'-0" O.C. MAXIMUM WITHIN 1" OF ENDS SCHEDULED BASE CONTINUOUS SEALANT. SEE NOTES TOP OF STRUCTURE BASE	C F2 METAL STUD SIZE: 1-5/8" OVERALL DIMENSION: 2-1/4" F3 METAL STUD SIZE: 2-1/2" OVERALL DIMENSION: 3-1/8" F4 METAL STUD SIZE: 3-5/8" OVERALL DIMENSION: 4-1/4" F6 METAL STUD SIZE: 6" OVERALL DIMENSION: 6-5/8"
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	UNDERSIDE OF STRUCTURE HEAD PLAN 8"x8"x16" CONCRETE BLOCK MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED. TOP OF STRUCTURE BASE	D M8 CMU SIZE: 8"x8"x16" OVERALL DIMENSION: 7-7/8" *2-HOUR RATED (UL DES. #U905) - WHERE DESIGNATED
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TYPICAL MOUNTING HEIGHTS:				
22 GAUGE STUD				
STUD WIDTH	ALLOWABLE DEFLECTION	ONE LAYER GWB EACH SIDE	TWO LAYERS GWB EACH SIDE	FURRING ONE LAYER
2-1/2"	L/240 L/360	13'-0" 11'-6"	14'-0" 12'-3"	12'-0" 10'-6"
3-5/8"	L/240 L/360	17'-3" 15'-0"	18'-0" 15'-9"	16'-0" 14'-0"
6"	L/240 L/360	25'-3" 22'-0"	26'-0" 22'-9"	23'-9" 20'-9"
20 GAUGE STUD				
STUD WIDTH	ALLOWABLE DEFLECTION	ONE LAYER GWB EACH SIDE	TWO LAYERS GWB EACH SIDE	FURRING ONE LAYER
2-1/2"	L/240 L/360	13'-10" 12'-0"	16'-1" 14'-0"	13'-0" 11'-6"
3-5/8"	L/240 L/360	17'-11" 15'-7"	20'-2" 17'-8"	17'-3" 15'-0"
6"	L/240 L/360	26'-1" 22'-10"	28'-6" 24'-11"	25'-6" 23'-3"
NOTE: ALLOWABLE DEFLECTION SHALL BE L/360 UNLESS OTHERWISE NOTED.				
NOTES:				
1. PROVIDE ADDITIONAL BRACING AND/OR HEAVIER GAUGE STUDS AT SPANS EXCEEDING THOSE RECOMMENDED BY MANUFACTURER TO PREVENT EXCESSIVE DEFLECTION.				
2. USE 20 GAUGE FOR ALL METAL FRAMING COMPONENTS AS STANDARD UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS.				
3. FIRE RESISTANT GYPSUM BOARD (ASTM TYPE 'X' GYPSUM BOARD OR APPROVED EQUAL) SHALL BE USED AT ALL FIRE RATED PARTITIONS.				
4. ALL PLYWOOD USED IN PARTITIONS SHALL BE FIRE RETARDANT TREATED.				
5. WATER RESISTANT GYPSUM BOARD SHALL BE USED AT DAMP SIDE OF ALL BATHROOMS, BAR PARTITIONS, KITCHENS, ETC. IN LIEU OF STANDARD GYPSUM BOARD. WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED FOR CEILING CONSTRUCTION.				
	LEGEND INTERIOR PARTITIONS: WALL RATING (IF NO DESIGNATION IS LISTED, NO RATING IS REQUIRED) METAL STUD SIZE (EX. 2 = 2-1/2") PARTITION TYPE			

YOST
Manufacturing & Supply, Inc.

1018 Hartford Tpke.
Waterford, Connecticut 06385

CARLIN
CONSTRUCTION COMPANY

DESIGN / BUILDER
5 Shaws Cove, Suite 103
New London, CT 06320
860.444.2567

STABACH
ARCHITECTS

71 Raymond Road
West Hartford, CT 06107

Seal

progress print
NOT FOR CONSTRUCTION
3/12/2026 5:23:43 PM

Revisions

Issue Record

ISSUED FOR OWNER REVIEW 03.09.26

Drawing Information

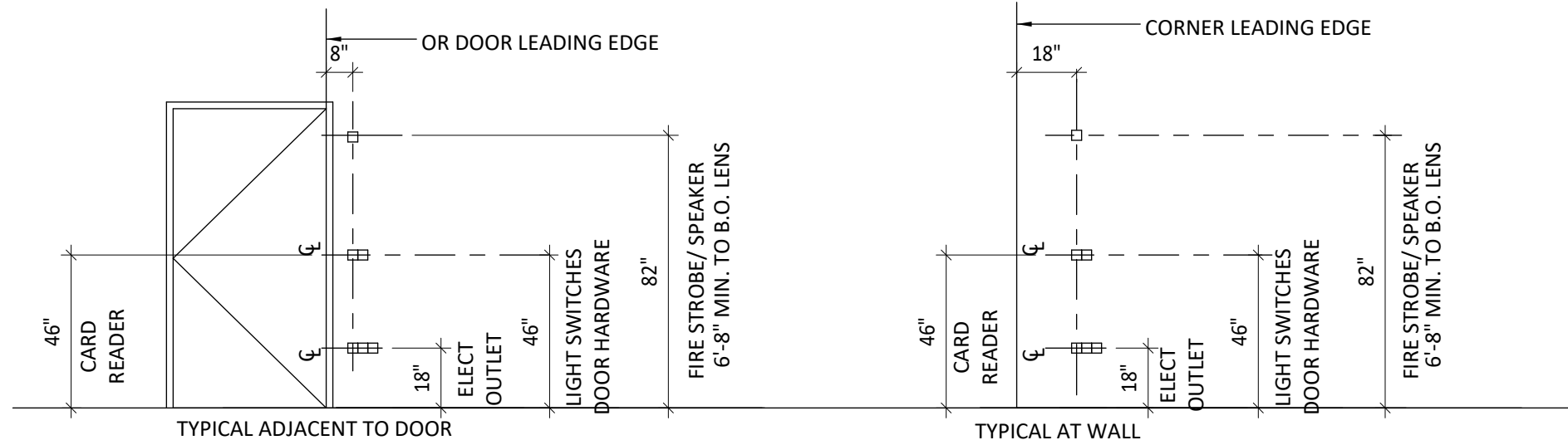
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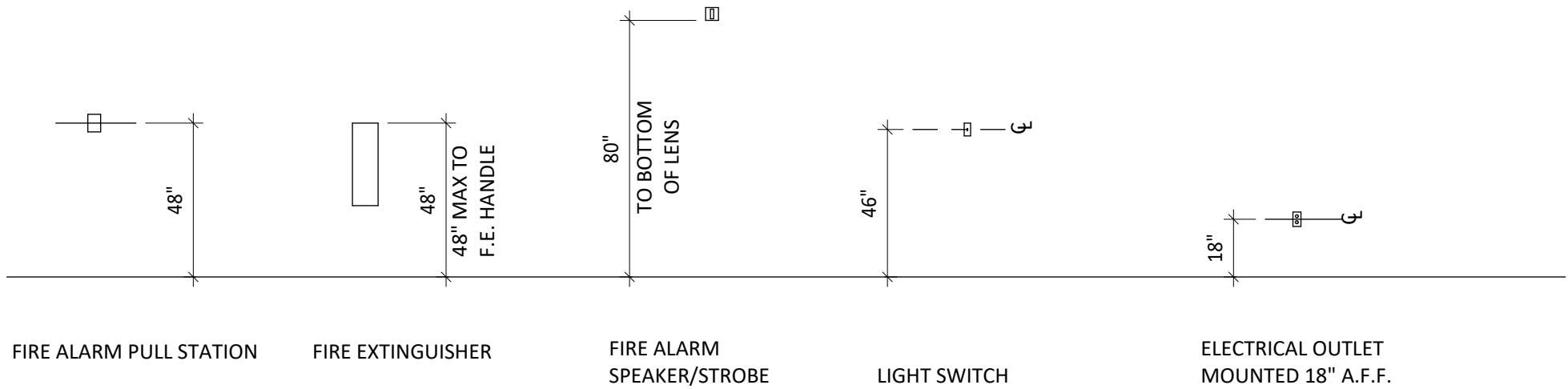
ABBREVIATIONS,
PARTITION TYPES AND
LIST OF DRAWINGS

Drawing Number

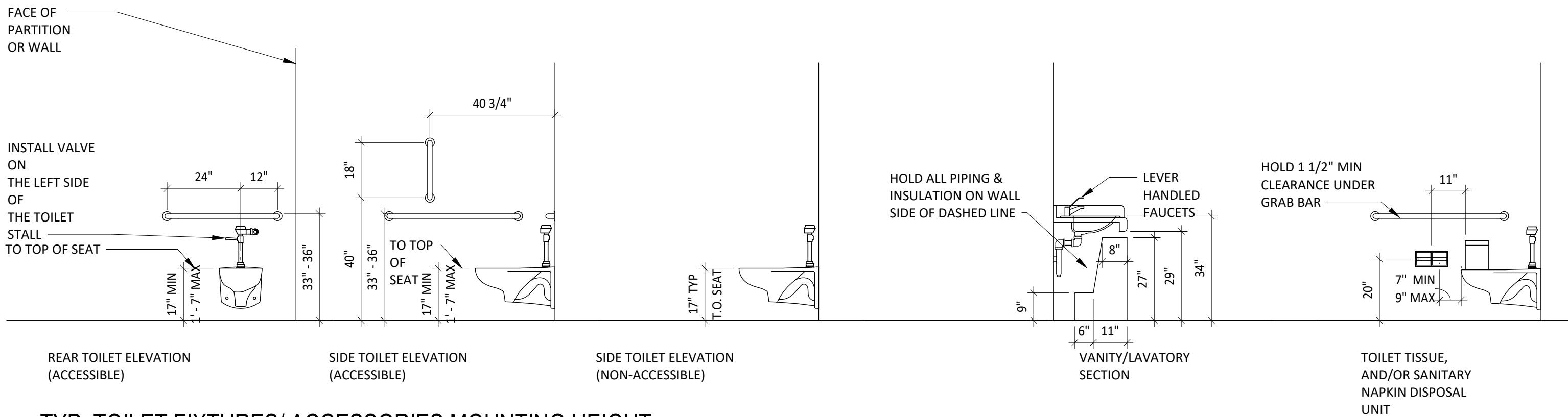
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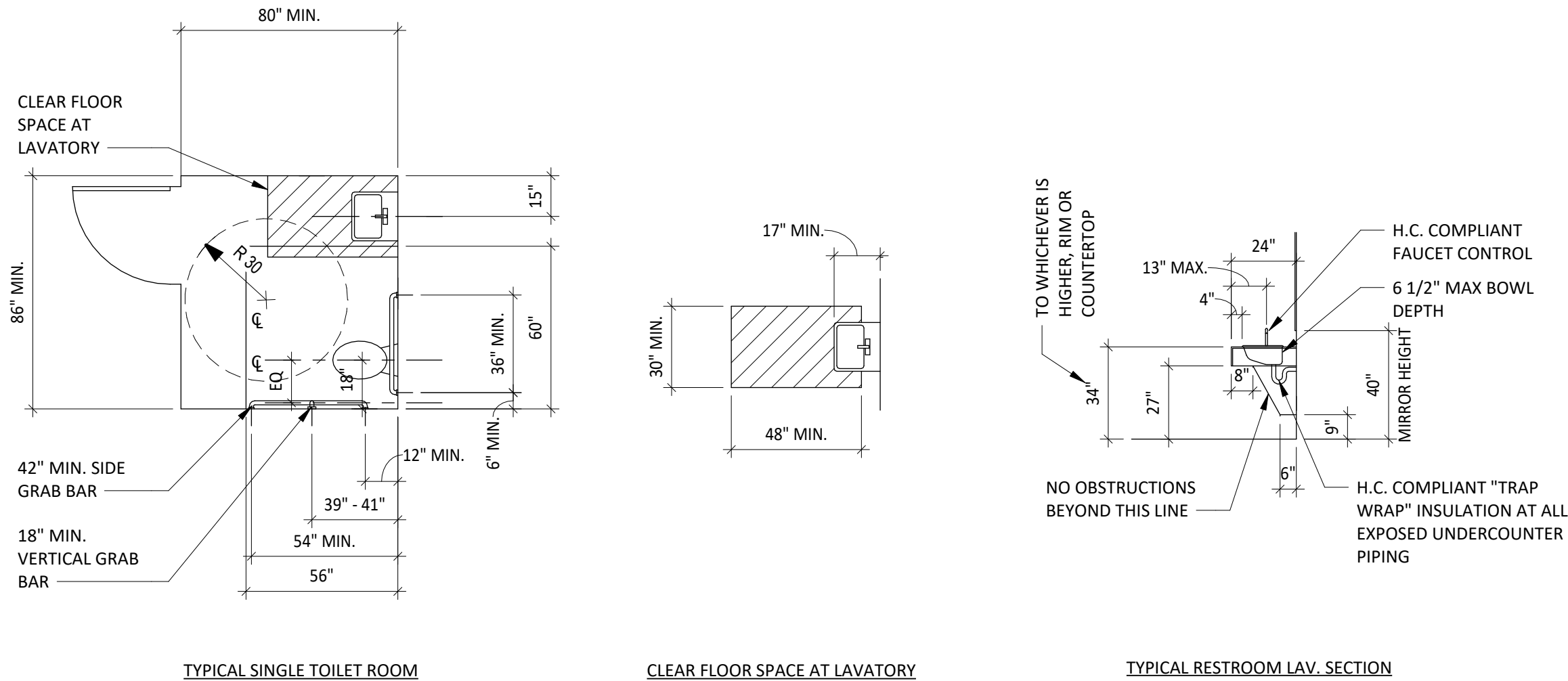
TYP. ELEVATIONS/ DEVICE MOUNTING LOCATIONS
1/4" = 1'-0"



TYP. FIRE SAFETY/ CONTROL DEVICES MOUNTING HEIGHT
1/4" = 1'-0"



TYP. TOILET FIXTURES/ ACCESSORIES MOUNTING HEIGHT
3/8" = 1'-0"



TYP. WATER CLOSETS
1/4" = 1'-0"

Date	03.09.26
Job Number	YST.001
Scale	As indicated
Drawn	DD
Checked	JS

TYPICAL ACCESSORY MOUNTING HEIGHTS AND LOCATIONS

SECTION 011000 GENERAL REQUIREMENTS PART 1 - GENERAL	
A. Restricted Use of Site: Owner and Owner's tenants will occupy adjacent areas within the existing building(s) during entire construction period. Contractor is prohibited from all public areas, including lobby, corridors, stairs, elevators and other facilities and spaces. Contractor's access and use for construction operations is limited to areas within Contract limits as indicated on the Drawings.	
1. Work with adjacent areas for tie-in's or construction of new suite entrances shall be coordinated in advance with Owner. Work shall be performed at designated ("off-hours") time periods so as not to interfere with Owner's or Owner's tenants day-to-day operations.	
B. Permits and Fees: Apply for, obtain, and pay for permits, fees, and utility company backcharges required to perform the work.	
C. Codes: Comply with applicable codes and regulations of authorities having jurisdiction. Submit copies of inspection reports, notices and similar communications to Architect.	
D. Dimensions: Verify dimensions indicated on drawings with field dimensions before fabrication or ordering of materials. Do not scale drawings.	
E. Existing Conditions: Notify Architect of existing conditions differing from those indicated on the drawings.	
F. Contractor's Conduct on Premises: The Contractor and their employees shall behave in a respectful, courteous and safe manner. Abusive, harassing, and lewd behavior is prohibited. Music playing is prohibited. Alcohol, tobacco, and drug use is prohibited.	
1. Comply with Owner's Rules and Regulations.	
G. Digital Project Management: Unless otherwise stipulated in the agreement, provide, administer, and use web-based Project software site for purposes of hosting and managing Project communication and documentation until Final Completion.	
1. Software program to include a minimum: Document management for drawings and specifications; Creation, logging and tracking of project communications, submittals, RFI's, contract modifications, construction schedules, and progress photographs.	
a. Basis-of-Design Product: Procore Technologies, Inc.; Procore Construction Management Software.	
1.3DEFINITIONS	
A. General: Basic Contract definitions are included in the Conditions of the Contract.	
B. "Approved": When used to convey Architect's action on Contractor's submittals, applications, and requests, "approved" is limited to Architect's duties and responsibilities as stated in the Conditions of the Contract.	
C. "Directed": A command or instruction by Architect. Other terms including "requested," "authorized," "selected," "approved," "required," and "permitted" have the same meaning as "directed."	
D. "Indicated": Requirements expressed by graphic representations or in written form on Drawings, in Specifications, and in other Contract Documents. Other terms including "shown," "noted," "scheduled," and "specified" have the same meaning as "indicated."	
E. "Regulations": Laws, ordinances, statutes, and lawful orders issued by authorities having jurisdiction, and rules, conventions, and agreements within the construction industry that control performance of the Work.	
F. "Furnish": Supply and deliver to Project site, ready for unloading, unpacking, assembly, installation, and similar operations.	
G. "Install": Operations at Project site including unloading, temporarily storing, unpacking, assembling, erecting, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations.	
H. "Provide": Furnish and install, complete and ready for the intended use.	
I. "Project Site": Space available for performing construction activities. The extent of Project site is shown on Drawings and may or may not be identical with the description of the land on which Project is to be built.	
J. "Substitutions": Changes in products, materials, equipment, and methods of construction from those required by the Contract Documents.	
1. Substitutions for Cause: Changes proposed by Contractor that are required due to changed Project conditions, such as unavailability of product, regulatory changes, or unavailability of required warranty terms.	
2. Substitutions for Convenience: Changes proposed by Contractor that are not required to meet Project conditions or requirements.	
1.4INDUSTRY STANDARDS	
A. Referenced standards are part of the Contract Documents and have the same force and effect as if bound with these specifications.	
B. Except where specifically indicated otherwise, comply with the current standard in effect as of the date of the Owner/Contractor Agreement. Obtain copies of industry standards directly from publisher.	
C. The titles of industry standard organizations are commonly abbreviated; full titles may be found in Encyclopedia of Associations or consult Architect.	
1.5CODES AND REGULATIONS	
A. Comply with all applicable codes, ordinances, regulations and requirements of authorities having jurisdiction.	
B. Submit copies of all permits, licenses, certifications, inspection reports, releases, notices, judgments, and communications from authorities having jurisdiction to the Architect.	
1.6PROCEDURES AND CONTROLS	
A. Layout: Layout work and be responsible for all lines, elevations, and measurements of the building, grading, utilities and other work executed under the contract.	
B. Field Measurements: Verify measurements at the building prior to ordering materials or commencing work. No extra charge or compensation will be allowed because of differences between actual dimensions and measurements indicated on the Drawings. Differences which may be found shall be submitted to the Architect for decision before proceeding with the work.	
C. Project Limit Line: The boundaries of the site do not limit the responsibility of the Contractor to perform the work in its entirety. Make utility connections as indicated.	
D. Matching: Where matching is indicated, the Architect shall be the sole and final judge of what is an acceptable match. Mockups and sample submissions are required.	
E. Observation: Notify the Architect and authorities having jurisdiction at least thirty-six hours in advance of concealing any work.	
F. Utilities: Prior to interrupting utilities, services or facilities, notify the utility owner and the Owner and obtain their written approval a minimum 48 hours in advance.	
G. Clean-Up: Frequently clean-up all waste, remove from site regularly, and legally dispose of off-site.	
H. Installer's Acceptance of Conditions: All installers shall inspect substrates and conditions under which work is to be executed and shall report in writing to the Contractor all conditions detrimental to the proper execution and completion of the work. Do not proceed with work until unsatisfactory conditions are corrected. Beginning work means installer accepts previous work and conditions.	
1. Coordination: The Contractor shall be fully responsible for coordinating all trades, coordinating construction sequences and schedules, and coordinating the actual installed location and interface of all work.	
I. Request For Interpretation (RFIs):	
1. Procedure: Immediately on discovery of the need for interpretation of the Contract Documents, and if not possible to request interpretation at Project meeting, prepare and submit an RFI in the form specified.	
• RFIs shall originate with Contractor. RFIs submitted by entities other than Contractor will be returned with no response.	
2. Content of the RFI: Include a detailed, legible description of item needing interpretation.	
3. Architect's Action: Architect will review each RFI, determine action required, and return it. Allow three working days for Architect's response for each RFI. RFIs received after 3:00 p.m. will be considered as received the following working day.	
4. The following RFIs will be returned without action:	
a. Requests for approval of submittals.	
b. Requests for approval of substitutions.	
c. Requests for coordination information already indicated in the Contract Documents.	
d. Requests for adjustments in the Contract Time or the Contract Sum.	
e. Requests for interpretation of Architect's actions on submittals.	
f. Incomplete RFIs or RFIs with numerous errors.	

J. Existing Articles of Unusual Value: If during demolition, excavation, or disposal work articles of unusual value or of historical or archaeological significance are encountered, the ownership of such articles is retained by the Owner, and information regarding their discovery shall be immediately furnished to the Architect. If the nature of the article is such that work cannot proceed without danger of damage, work in the area shall be immediately discontinued until the Architect has determined the proper procedure to be followed. Delays in time thereby shall be a condition for which the time of the Contract may be extended. Costs incurred after discovery in the salvaging of such articles shall be borne by the Owner.	
1.7SUBMITTALS	
A. Required Submittals: Submit shop drawings, product data, initial selection samples, verification samples, calculations, coordination drawings, schedules, and all other submittals as specified in individual specification sections.	
B. Submittal Schedule: Within 30 days after award of contract and before first application for payment, prepare list of submittals in chronological sequence showing all submittals and proposed date first due at Architect's office and proposed date due to be returned to Contractor. Note relevant specification section number.	
C. Contractor's Preparation of Submittals: Modify and customize all submittals to show interface with adjacent work and attachment to building. Identify each submittal with name of project, date, Contractor's name, subcontractor's name, manufacturer's name, submittal name, relevant specification section numbers, and Submittal Schedule reference number. Stamp and sign each submittal to show the Contractor's review and approval of each submittal before delivery to Architect's office; unstamped and unsigned submittals will be returned without action by the Architect. Leave 4" x 6" open space for Architect's "action" stamp.	
1. Electronic Submittals: Provide a copy of all submittals in electronic format to the Architect. Architect will return a file of reviewed submittal in electronic format to the Contractor for distribution to subcontractors, suppliers, fabricators, governing authorities and others as necessary for proper performance of the Work. Unless otherwise amenable to the Architect, additional hard copies of submittals will not be reviewed by the Architect (or Consultant) and will not be returned to the Contractor.	
2. Assemble complete submittal package into a single indexed file incorporating submittal requirements of a single Specification Section and transmittal form with links enabling navigation to each item.	
3. Name file with submittal number or other unique identifier, including revision identifier.	
4. Provide means for insertion to permanently record Contractor's review and approval markings and action taken by Architect and Construction Manager.	
D. Product Data: Provide manufacturer's preprinted literature including, without limitation, manufacturer's standard printed description of product, materials and construction, recommendations for application and use, certification of compliance with standards, instructions for installation, and special coordination requirements. Collect data into one submittal for each unit of work or system; mark each copy to show which choices and options are applicable to project.	
1. Installer Copy: Verify that the Installer has a current copy of the relevant product data, including installation instructions, before permitting installation to begin.	
E. Shop Drawings: Provide accurately prepared, large scale and detailed shop drawings prepared specifically for this project. Show adjacent conditions and related work. Show accurate field dimensions and clearly note field conditions. Identify materials and products in the work shown. Note special coordination required.	
1. After Architect's action, follow specified distribution procedure.	
F. Samples: Provide units identical with final materials and products to be installed in the work. Where indicated, prepare samples to match Architect's sample. Label each sample with description, source, generic name or manufacturer's name and model number. Architect will review samples for confirmation of visual design intent, color, pattern, texture and type only; Architect will not test samples for compliance with other Contract requirements which shall remain the exclusive responsibility of the Contractor.	
1. Initial Selection Samples Submittal Quantities: For initial selection purposes, submit 1 set of samples showing the complete range of colors and finishes available.	
2. Verification Samples Submittal Quantities: For verification of an initial selection, submit 3 sets of samples; one set will be returned to Contractor to be maintained at project site for quality control comparisons.	
G. Timing of Submittals: Submit submittals in a timely fashion to allow at least 10 business days for each office's review and handling. This means that submittals which have to be reviewed by the Architect and one of their consultants require at least 20 business days for review and handling. Add ten business days for each additional consultant who must review a submission.	
H. Architect's Action on Submittals: Architect will review submittals, stamp with "action stamp", mark action, and return to Contractor. Architect will review submittals only for conformance with the design concept of the project. The Contractor is responsible for confirming compliance with other Contract requirements, including without limitation, performance requirements, field dimensions, fabrication methods, means, methods, techniques.	
sequences and procedures of construction, coordination with other work. The Architect's review and approval of submittals shall be held to the limitations stated in the Owner/Architect Agreement and the Conditions of the Contract. In no case shall approval or acceptance by the Architect be interpreted as a release of Contractor of their responsibilities to fulfill all of the requirements of the Contract Documents.	
1. Required Resubmittal: Unless submittal is noted "reviewed" or "reviewed except as noted, resubmission not required," make corrections or changes to original and resubmit to Architect.	
2. Distribution: When submittal is noted "reviewed" or "reviewed as noted, resubmittal not required," make prints or copies and distribute to Owner, Subcontractors involved, and to all other parties requiring information from the submittal for performance or coordination of related work.	
1.8WARRANTIES	
A. Warranties Required: Refer to individual trade sections for specific product warranty requirements.	
B. Procurement: Where a warranty is required, do not purchase or subcontract for materials or work until it has been determined that parties required to countersign warranties are willing to do so.	
C. Warranty Forms: Submit written warranty to Owner through Architect for approval prior to execution. Furnish two copies of executed warranty to Owner for their records; furnish two additional conformed copies where required for maintenance manual.	
D. Work Covered: Contractor shall remove and replace other work of project which has been damaged as a result of failure of warranted work or equipment, or which must be removed and replaced to provide access to work under warranty. Unless otherwise specified, warranty shall cover full cost of replacement or repair, and shall not be pro-rated on basis of useful service life.	
E. Warranty Extensions: Work repaired or replaced under warranty shall be warranted until the original warranty expiration date or for ninety days whichever is later in time.	
F. Warranty Effective Starting Date: Guarantee period for all work, material and equipment shall begin on the date of substantial completion of the Project, not when subcontractor has completed their work nor when equipment is turned on. In addition to the one year guarantees for the entire work covered by these Contract Documents, refer to the various sections of the specifications for extended guarantee or maintenance requirements for various material and equipment.	
G. Warranties are Irrevocable: Warranties issued to the Owner are irrevocable.	
1. Non-Payment: If warrantor refuses to issue warranty, or attempts to revoke warranty due to lack of payment by any party other than the Owner, the Contractor shall resolve the payment conflict, and cause the warranty to be issued or reinstated.	
2. Incomplete or incorrect installation: If warrantor refuses to issue warranty, or attempts to revoke warranty due to improper installation or other deficiency, the Contractor shall correct the deficiency and cause the warranty to be issued or reinstated.	
H. Transferable Warranties: All warranties shall permit Owner to transfer or assign warranties to future owners or other assignors at no additional cost to the Owner for the full warranty period.	
1.9CUTTING AND PATCHING	
A. Limitations: Do not cut and patch any work in a manner that would result in a failure of the work to perform as intended, decreased energy performance, increased maintenance, decreased operational life, or decreased safety.	
1. Structural Work: Do not cut structural work or bearing walls without written approval from Architect. Where cutting and patching of structural work is necessary and approved by Architect, perform work in a manner which will not diminish structural capacity nor increase deflection of member. Provide temporary shoring and bracing as necessary. Ensure the safety of people and property at all times.	
B. Cutting and Patching Materials: Use materials identical to materials to be cut and patched. If identical materials are not available or cannot be used, use materials that match existing materials to the greatest extent possible. Provide finished work that will result in equal to or better than existing performance characteristics.	
C. Inspection: Before cutting and patching, examine surfaces and conditions under which work is to be performed and correct unsafe and unsatisfactory conditions prior to proceeding.	
D. Protection: Protect adjacent work from damage. Protect the work from adverse conditions.	
E. Cutting: Cut work using methods least likely to damage adjoining work. Use tools designed for sawing or grinding, not hammering or chipping. Use saws or drills to ensure neat, accurately formed holes to sizes required with minimum disturbance to adjacent work. Temporarily cover openings; maintain weathertightness and safety.	
1. Utilities: Locate utilities before cutting. Provide temporary utilities as needed. Cap, valve, or plug and seal ends of abandoned utilities to prevent entrance of moisture or other foreign matter.	
F. Patching: Patch with seams and joints which are durable and not visible. Comply with specified tolerances for similar new work; create true even planes with uniform continuous appearance. Restore finishes of patched areas and, if necessary, extend finish restoration onto adjoining unpatched area to eliminate evidence of patching and refinishing. Repair entire assemblies, not just patched area. Remove and replace work which has been cut and patched in a visually unsatisfactory manner as determined by the Architect.	
G. Qualifications: Retain experienced and specialized firms, original installers if possible, to perform cutting and patching. Workmen shall be skilled in type of cutting and patching required.	
1.10 TEMPORARY FACILITIES AND UTILITIES	
A. Scope of Temporary Work: This article is not intended to limit the scope of temporary work required under the Contract. Provide all temporary facilities and utilities needed.	
B. Permits and Fees: Obtain and pay for all permits, fees and charges related to temporary work.	
C. Codes and Authorities Having Jurisdiction for Temporary Facilities and Utilities: Comply with all requirements of authorities having jurisdiction, codes, utility companies, OSHA, and industry standards including, but not limited to the following:	
1. NFPA 241, Standard for Safeguarding Construction, Alteration, and Demolition Operations.	
2. ANSI-A10 Series, Safety Requirements for Construction and Demolition.	
3. NECA National Joint Guideline NUG-6, Temporary Job Utilities and Services.	
4. Electrical Service: NEMA, NECA, and UL.	
D. Field Offices: Provide Contractor's field offices as needed. Keep current copies of all Contract Documents and project paperwork neatly on file at jobsite.	
E. Equipment and Tools: Provide all equipment including, but not limited to, hoists, lifts, scaffolding, machines, tools and the like, as needed for execution of the work. Provide safe access to all parts of the work.	
F. Temporary Enclosures: Provide temporary enclosures to maintain proper temperatures and to prevent weather damage. Always maintain legal means of egress.	
G. Lifts and Hoists: Provide facilities necessary for hoisting materials and personnel.	
H. Protection: Protect nearby property and the public from construction activities. Provide and maintain barricades, warning signs and lights, railings, walkways and similar items. Immediately repair damaged property to its condition before being damaged.	
I. Construction Fencing: Provide construction fencing and barriers as applicable to the project and as required by code to protect personnel, the public, and to control access.	
J. Fire Prevention: Take every precaution to prevent fire. Provide and maintain in good operating condition suitable and adequate fire protection equipment and services, and comply with recommendations regarding fire protection made by the representative of the fire insurance company carrying insurance on the Work or by the local fire chief or fire marshal. The area within the site limits shall be kept orderly and clean, and all combustible rubbish shall be promptly removed from the site.	
K. Egress: Maintain safe and legal means of egress at all times. At all times, provide at least two separate means of egress.	
L. Mold Control and Remediation During Construction: The Contractor shall protect construction materials and building systems from moisture damage and from conditions which promote mold growth during and after construction. The Contractor shall be responsible for mold remediation and replacement of materials which cannot be successfully remediated in accordance with the following requirements:	
1. Materials which become wet prior to installation shall be cleaned, treated and dried in accordance with EPA Guidelines.	
2. Materials which exhibit mold growth prior to installation shall not be installed and shall be removed from the site.	
3. Materials which exhibit mold growth after installation shall be remediated in accordance with EPA Guidelines for Remediating Building Materials with Mold Growth Caused by Clean Water. The Contractor shall engage and pay for a qualified industrial hygienist acceptable to the Owner to determine the cause of the mold growth, and to certify in writing that materials have been successfully remediated. In the event that the industrial hygienist recommends methods of remediation in addition to those in the Guidelines, the Contractor shall also be responsible for the additional remediation. Materials which can not be successfully remediated shall be removed and replaced with new materials at no additional expense to the Owner.	
4. Prior to the start of construction, the Contractor shall submit the name of the person in the Contractor's organization responsible for ensuring compliance with these requirements for mold control and remediation.	
M. Existing Mold-Contaminated Materials: In the event that mold-contaminated materials are encountered during remodeling operations, the Contractor shall stop work in that area and notify the Owner and Architect in writing. The Owner will engage and pay for an industrial hygienist to evaluation the situation to advise the Contractor on the proper course of action.	
1.11 DELIVERY, STORAGE AND HANDLING	
A. Manufacturer's Instructions: Strictly comply with manufacturer's instructions and recommendations and prevent damage, deterioration and loss, including theft. Minimize long-term storage at the site. Maintain environmental conditions, temperature, ventilation, and humidity within range permitted by manufacturers of materials and products used.	
1.12 RECORD DOCUMENTS	
A. Definition of As-Constructed Record Drawings: (commonly called "as-builts") are the record of the Project as constructed based on information the Contractor provides to the Owner under the contract for construction. Because the As-constructed Record Drawings will be based on the Contractor's mark-ups, the Architect is not responsible for the accuracy or completeness of the As-constructed Record Drawings.	
B. Definition of As-Designed Record Drawings: The record of everything the Architect designed for the Project, and including the original Construction Documents plus all addenda, Architect's Supplemental Instructions, Change Orders, Construction Change Directives and minor changes in the work.	
C. General: Keep as-constructed record documents neatly and accurately. Record information as the work progresses and deliver to Architect at time of final acceptance. Include in record documents all field changes made, all relevant dimensions, and all relevant details of the work. Keep record documents up to date with all Architect's Supplemental Instructions, Change Orders, Construction Change Directives and minor changes in the work clearly indicated.	
D. Operating and Maintenance Manuals: Manuals shall be submitted which contain the following:	
1. Description of the system provided.	
2. Handling, storage, and installation instructions.	
3. Detailed description of the function of each principal component of the systems or equipment.	
4. Operating procedures, including prestart-up, startup, normal operation, emergency shutdown, normal shutdown and troubleshooting.	
5. Maintenance procedures including lubrication requirements, intervals between lubrication, preventative and repair procedures, and complete spare parts list with cross reference to original equipment manufacturer's part numbers.	
6. Control and alarm features including schematic of control systems, control loop electric ladder diagrams, controller operating set points, settings for alarms and shutdown systems, pump curves and fan curves.	
7. Safety and environmental considerations.	
E. Copies of Operating and Maintenance Manuals: Three copies of the manuals shall be provided within sufficient time to allow for training of Owner's personnel. Submit one copy of the manuals to the Architect for review no later than 90 calendar days prior to substantial completion, or building turn over, whichever comes first. Submit the remaining five copies within 15 days after first review set is returned to contractor. Progress payment may be withheld if this requirement is not met.	
F. Instructions for Owner's Personnel: Prior to final inspection, instruct the Owner's personnel in operation, adjustment and maintenance of products, equipment and systems. Provide instruction at mutually agreed upon times. Video all instruction sessions and deliver videos to Owner on thumb drive or other suitable media.	
1. For equipment that requires seasonal operation provide similar instruction during other seasons.	
2. Use operation and maintenance manuals for each piece of equipment or system as the basis of instruction. Review contents in detail to explain all aspects of operation and maintenance.	
CONTINUED ON THE NEXT PAGE	



1018 Hartford Tpke.
Waterford, Connecticut 06385



DESIGN / BUILDER

5 Shaws Cove, Suite 103
New London, CT 06320
860.444.2567



71 Raymond Road
West Hartford, CT 06107

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PROJECT SPECIFICATIONS

Drawing Number

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1.13 PROJECT CLOSE OUT

A. Complete the following prior to Substantial Completion:

1. Provide Contractor's Punch List of incomplete items stating reason for incompletion and value of incompletion.
2. Submit all warranties, maintenance contracts, final certificates and similar documents.
3. Obtain Certificate of Occupancy and similar releases which permit the Owner's full and unrestricted use of the areas claimed "Substantially Complete".
4. Submit record documents.
5. Deliver maintenance stocks of materials where specified.
6. Make final change over of lock cylinders or cores and advise Owner of change of security responsibility.
7. Complete startup of all systems and instruct Owner's personnel in proper operation and routine maintenance of systems and equipment.
8. Complete clean up and restoration of damaged finishes.
9. Remove all temporary facilities and utilities that are no longer needed.
10. Request Architect's inspection for Substantial Completion.

B. Architect will either issue a Certificate of Substantial Completion or notify Contractor of work which must be performed prior to issue of certificate.

C. Complete the following prior to Final Acceptance and payment:

1. Obtain Certificate of Substantial Completion.
2. Submit final application for payment, showing final accounting of changes in the work.
3. Provide final releases and lien waivers not previously submitted.
4. Submit certified copy of final punch list stating that Contractor has completed or corrected each item.

1.14 FINAL CLEANING AND REPAIR

A. Clean Up: Immediately prior to the Architect's inspection for Substantial Completion, the Contractor shall completely clean the premises and clean and prepare the completed work in order for it to be used for its intended purpose in accordance with the Contract Documents. Such work shall include, but not be limited to the following:

1. Stains, spots, dust, marks and smears shall be removed from all surfaces.
2. Hardware and metal surfaces shall be cleaned and polished.
3. Glass and plastic surfaces shall be thoroughly cleaned by professional window cleaners.
4. Damaged, broken or scratched glass or plastic shall be replaced by the Contractor at the Contractor's expense.
5. Use low-emitting, environmentally friendly cleaning agents and procedures. Do not use ammonia-, chlorine bleach-, or solvent-based cleaners, unless authorized in writing by Architect.

B. Repairs: Repair and touch-up all damaged and deteriorated products and surfaces.

END OF SECTION

SECTION 024119 SELECTIVE DEMOLITION

PART 1 - GENERAL

1. DESCRIPTION OF WORK

A. Work Included:

1. Demolition and removal of selected portions of the existing building as required for new work. Refer to the Drawings for additional requirements.
2. Salvage of existing items to be reused or turned over to the facility.
3. Removal and legal disposal of demolished materials off site. Except those items specifically designated to be relocated, reused, or turned over to the facility, all existing removed materials, items, trash and debris shall become property of the Contractor and shall be completely removed from the site and legally disposed of at their expense. Salvage value belongs to the Contractor. On-site sale of materials is not permitted.
4. Demolition and removal work shall properly prepare for alteration work and new construction to be provided under the Contract.
5. Scheduling and sequencing operations without interruption to utilities serving occupied areas. If interruption is required, obtain written permission from the utility company and the Owner.

1. DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site, unless indicated to be removed and salvaged or removed and reinstalled.
- B. Remove and Salvage: Detach items from existing construction and deliver them to the Owner ready for reuse, at a location designated by the Owner. Protect from weather until accepted by Owner.
- C. Remove and Reinstall: Detach items from existing construction, prepare them for reuse, and reinstall them where indicated. Protect from weather until reinstallation.
- D. Existing to Remain: Existing items of construction that are not to be removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.

1. QUALITY ASSURANCE

- A. Examination of Existing Conditions: The Contractor shall examine the Contract Drawings for demolition and removal requirements and provisions for new work. Verify all existing conditions and dimensions before commencing work. The Contractor shall visit the site and examine the existing conditions as he finds them and shall inform herself/himself of the character, extent and type of demolition and removal work to be performed. Submit any questions regarding the extent and character of the demolition and removal work in the manner and within the time period established for receipt of such questions during the bidding period.
- B. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.

1. WARRANTY

- A. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during selective demolition, by methods and with materials so as not to void existing warranties.

PART 2 - PRODUCTS

2.1SALVAGING

- A. Salvaged for Reinstallation: Materials indicated on the Drawings to be salvaged and reinstalled shall be carefully removed and stored at a location acceptable to the Architect and Owner.
- B. Salvaged for Storage: Materials indicated on the Drawings or designated in the field by the Owner to be salvaged and stored shall be carefully removed and delivered to the Owner at locations determined by Owner.

PART 3 - EXECUTION

3.1EXAMINATION

- A. Verify that utilities have been disconnected and capped.
- B. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- C. Prior to penetrating, coring, or saw cutting and removal of existing concrete slabs, investigate existing conditions to determine location of embedded and below slab items, including structural elements, thickened slabs, reinforcing steel, conduits and piping.
1. Review record documents of existing construction if available from Owner.
 2. Provide X-ray or penetrating radar scanning of area.
 3. Mark existing slab with locations and approximate size of embedded and below slab items.
- D. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged.
- E. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Architect.

3.2UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

A. Service/System Requirements: Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

1. If services/systems are required to be removed, relocated, or abandoned, before proceeding with selective demolition provide temporary services/systems that bypass area of selective demolition and that maintain continuity of services/systems to other parts of building.
2. Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal remaining portion of pipe or conduit after bypassing. Where entire wall is to be removed, existing services/systems may be removed with removal of the wall.
3. Prior to commencing cutting work in existing surfaces, take all precautionary measures to assure that mechanical and electrical services to the particular area have been made inactive. Coordinate with Plumbing, HVAC, and Electrical subcontractors. Only licensed tradesmen of that particular trade shall disconnect and cap existing mechanical and electrical items that are to be removed, abandoned and/or relocated.
4. If, during the process of cutting work, existing utility lines are encountered which are not indicated on the Drawings, regardless of their condition, immediately report such items to the Architect. Do not proceed with work in such areas until instructions are issued by the Architect. Continue work in other areas.

3.3PREPARATION

A. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.

1. Comply with requirements for access and protection specified in Section 011000 - GENERAL REQUIREMENTS, Temporary Facilities and Controls.
2. Maintain adequate passage to and from all exits at all times. Before any work is done which significantly alters access or egress patterns, consult with the Architect and obtain approval of code required egress. Under no condition block or interfere with the free flow of people at legally required exits, or in any way alter the required condition of such exits.

B. Temporary Shoring: Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

1. Strengthen or add new supports when required during progress of selective demolition.
2. Remove temporary shoring, bracing and structural supports when no longer required.
3. Post warning signs and place barricades as applicable during placement and removal of temporary shoring.

C. Conduct demolition operations to prevent injury to people and damage to adjacent buildings and facilities to remain. Ensure safe passage of people around demolition area(s).

1. Provide temporary barricades as required to limit access to demolition areas.
2. Protect existing site improvements, appurtenances, and landscaping to remain.

3.4SELECTIVE DEMOLITION, GENERAL

A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. All penetrations must comply with the requirements listed on the structural drawings prior to any modifications to the existing structure. Use methods required to complete the Work within limitations of governing regulations and as follows:

1. Proceed with selective demolition systematically, from higher to lower level. Complete selective demolition operations above each floor or tier before disturbing supporting members on the next lower level.
2. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
3. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
4. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain fire watch and portable fire-suppression devices during flame-cutting operations.
5. Maintain adequate ventilation when using cutting torches.
6. Remove decayed, vermin-infested, or otherwise dangerous or unsuitable materials and promptly dispose of off-site.
7. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
8. Maintain clear unimpeded passage through the work area for safety and emergency egress.
9. Saw cut overruns in concrete and masonry for finish openings is not permitted. Core drill corners and finish square to match required opening.
10. Dispose of demolished items and materials promptly.

B. Removed and Salvaged Items:

1. Clean salvaged items.
2. Pack or crate items after cleaning. Identify contents of containers.
3. Store items in a secure area until delivery to Owner.
4. Transport items to storage area designated by the Owner.
5. Protect items from damage during transport and storage.

C. Removed Items for Reinstallation by the Respective Trade.

1. Clean salvaged items.
2. Pack or crate items after cleaning. Identify contents of containers.
3. Store items in a secure area until delivery to Owner.
4. Transport items to storage area designated by the Owner.
5. Protect items from damage during transport and storage.

D. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

E. Items for Re-use and Preservation of Existing Surfaces to Remain:

1. The Contractor shall inspect closely each item specifically designated to be relocated, re-used, or turned over to the Owner prior to its removal, and immediately report damages and defects to the Architect and the Owner. The Contractor shall be responsible for any subsequent damage to the same other than latent defects not readily apparent from close inspection, and shall bear responsibility for its repair or same replacement as directed by the Architect, to the satisfaction of the Owner.
2. Unless special surface preparation is specified under other Specification Sections, leave existing surfaces that are to remain in a condition suitable to receive new materials and/or finishes.

1. PROTECTION OF PUBLIC AND PROPERTY

- A. Provide all measures required by federal, state and municipal laws, regulations, and ordinances for the protection of surrounding property, the public, workmen, and Owner's employees during all demolition and removal operations.
- B. Demolition shall be performed in such a manner that will insure the safety of adjacent property. Protect adjacent property from damage and protect persons occupying adjacent property from injuries which might occur from falling debris or other cause and so as not to cause interference with the use of other portions of the building.
- C. Provide and maintain in proper condition, suitable fire resistive dust barriers around areas where interior demolition and removal work is in progress. Dust barriers shall prevent the dust migration to adjacent areas. Remove dust barriers upon completion of major demolition and removal in the particular work area.

3.6DISCOVERY OF HAZARDOUS MATERIALS

- A. If hazardous materials, such as chemicals, asbestos-containing materials, or other hazardous materials are discovered during the course of the work, cease work in affected area only and immediately notify the Architect and the Owner of such discovery. Do not proceed with work in such areas until instructions are issued by the Architect. Continue work in other areas.
- B. If unmarked containers are discovered during the course of the work, cease work in the affected area only and immediately notify the Architect and the Owner of such discovery. Do not proceed with work in such areas until instructions are issued by the Architect. Take immediate precautions to prohibit endangering the containers integrity. Continue work in other areas.

3.7CUTTING

- A. Perform all cutting of existing surfaces in a manner which will ensure a minimal difference between the cut area and new materials when patched. Use extreme care when cutting existing surfaces containing concealed utility lines which are indicated to remain and bear full responsibility for repairing or replacement of all such utilities that are accidentally damaged.
- B. Provide a flush saw cut edge where pavement, curb and concrete removals abut new construction work or existing surfaces to remain undisturbed.
- C. All slurry and water shall be contained and managed to avoid damage to existing conditions when using a wet saw or wet core driller.
- D. Obtain and pay for a hot work permit and arrange to have on-site a Fire Watch when using a cutting torch or similar item.

E. Roofing Penetrations: Remove existing roofing decking only after roofing contractor has removed existing roofing system leaving deck surface bare and clean. All penetrations in roof shall be framed with miscellaneous iron prior to cutting and demolition of deck. Coordinate the demolition work with Division 23 - HVAC. Make all existing and new conditions satisfactory for installation of wood blocking, roof curbs, and patching of roofing system. Perform this work in a timely manner to minimize weather damage to the building.

3.8DISPOSAL OF DEMOLISHED MATERIALS

1. Do not allow demolished materials to accumulate on-site.
2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
3. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent.

B. Burning: Do not burn demolished materials.

3.9CLEANING

- A. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Premises shall be left in a clean condition and ready to accept alteration work and new construction.

END OF SECTION

YOST
Manufacturing & Supply, Inc.

1018 Hartford Tpke.
Waterford, Connecticut 06385

CARLIN
CONSTRUCTION COMPANY

DESIGN / BUILDER
5 Shaws Cove, Suite 103
New London, CT 06320
860.444.2567

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ARCHITECTS

71 Raymond Road
West Hartford, CT 06107

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Drawing Name

PROJECT
SPECIFICATIONS

Drawing Number

G-101

BUILDING CODE INFORMATION

2022 CT State Building Code which adopts the following model codes

- 2021 International Building Code (IBC)
- 2021 International Existing Building Code (IEBC)
- 2021 International Plumbing Code (IPC)
- 2021 International Mechanical Code (IMC)
- 2020 National Electrical Code (NFPA 70)
- 2022 CT Fire Safety Code
- 2021 International Fire Code (IFC)
- 2021 NFPA 101, Life Safety Code
- 2017 ICC A117.1 Accessible and Usable Buildings and Facilities
- 2022 USDA Food Code

CLASSIFICATION OF WORK: International Existing Building Code (IEBC) - Addition

The project consists of a new single-story pre-engineered metal building (PEMB) storage addition attached to an existing Manufacturing facility in Waterford, Connecticut.

The addition is approximately +/-3,230 square feet and is intended for the storage of finished gutter products. No manufacturing, fabrication, processing, or assembly operations are proposed within the addition. The building is unconditioned storage; no permanently installed space-heating or cooling is provided.

OCCUPANCY CLASSIFICATION (Section 303): Existing Construction: Factory/Industrial F-2
New Construction: Moderate Hazard Storage - Group S-1

BUILDING HEIGHT (Table 504.3) Allowed Provided
2 Story (Unsprinkled) 1 Story with Mezzanine

BUILDING HEIGHT (Table 504.4) 55'-0" (Unsprinkled) 30'-0"

BUILDING AREA (Table 506.2) 17,500 sf 13,401 sf

FIRE SEPARATION (Table 508.4) 2 Hour Separation between Factory F-2 and Storage S-1

CONSTRUCTION TYPE (Table 601) TYPE II-B (Addition)
Separated Mixed Use: Factory/Storage

FIRE SUPPRESSION (Section 903) Non-Sprinklered

OCCUPANT LOAD (Table 1004.1.2)

INDUSTRIAL	FACTOR	AREA	OCCUPANTS
STORAGE (WAREHOUSE)	500 GROSS	7,750	16
FACTORY (INDUSTRIAL)	100 GROSS	2,114	21

BUSINESS	FACTOR	AREA	OCCUPANTS
BUSINESS AREA	150 GROSS	622	5
MERCANTILE	60 GROSS	724	13

TOTAL OCCUPANTS: 55

MINIMUM PLUMBING FIXTURE COUNT Water Closets: 1 per 100 Occupants 1 required/2 provided
Lavatories: 1 per 100 Occupants 1 required/2 provided

EGRESS WIDTHS (Sections 1005.3.2) Doors and Corridors: 0.2" per occupant - Doors (32" clear min.),
Corridors (44" clear min.)

COMMON PATH OF TRAVEL DISTANCE (Table 1006.2.1) Occupancy S-1, OL < 30 = 100'

EXIT ACCESS TRAVEL DISTANCE (Table 1017.2) Occupancy S-1 - 200' (Non-Sprinklered)

INTERIOR FINISH REQUIREMENTS Walls and Ceilings (Table 803.13): Rooms and Enclosed: Spaces Class C

Floors (Section 804.4): Class II DOC FF-1 "pill test"
(CPSC 16 CFR, Part 1630)

LIFE SAFETY PLAN LEGEND

- 600 SF = 40
15

OCCUPANCY LOAD
AREA IN SQUARE FEET
OCCUPANCY LOAD FACTOR = NUMBER OF PERSONS
- 1
165

EXIT CAPACITY
ACCUMULATED OCCUPANT LOAD
CAPACITY OF EXIT COMPONENT
- ← - 15 - -

DIRECTION OF TRAVEL
WITH ACCUMULATED OCCUPANCY LOAD
- ←
TRAVEL DISTANCE = XXX FT

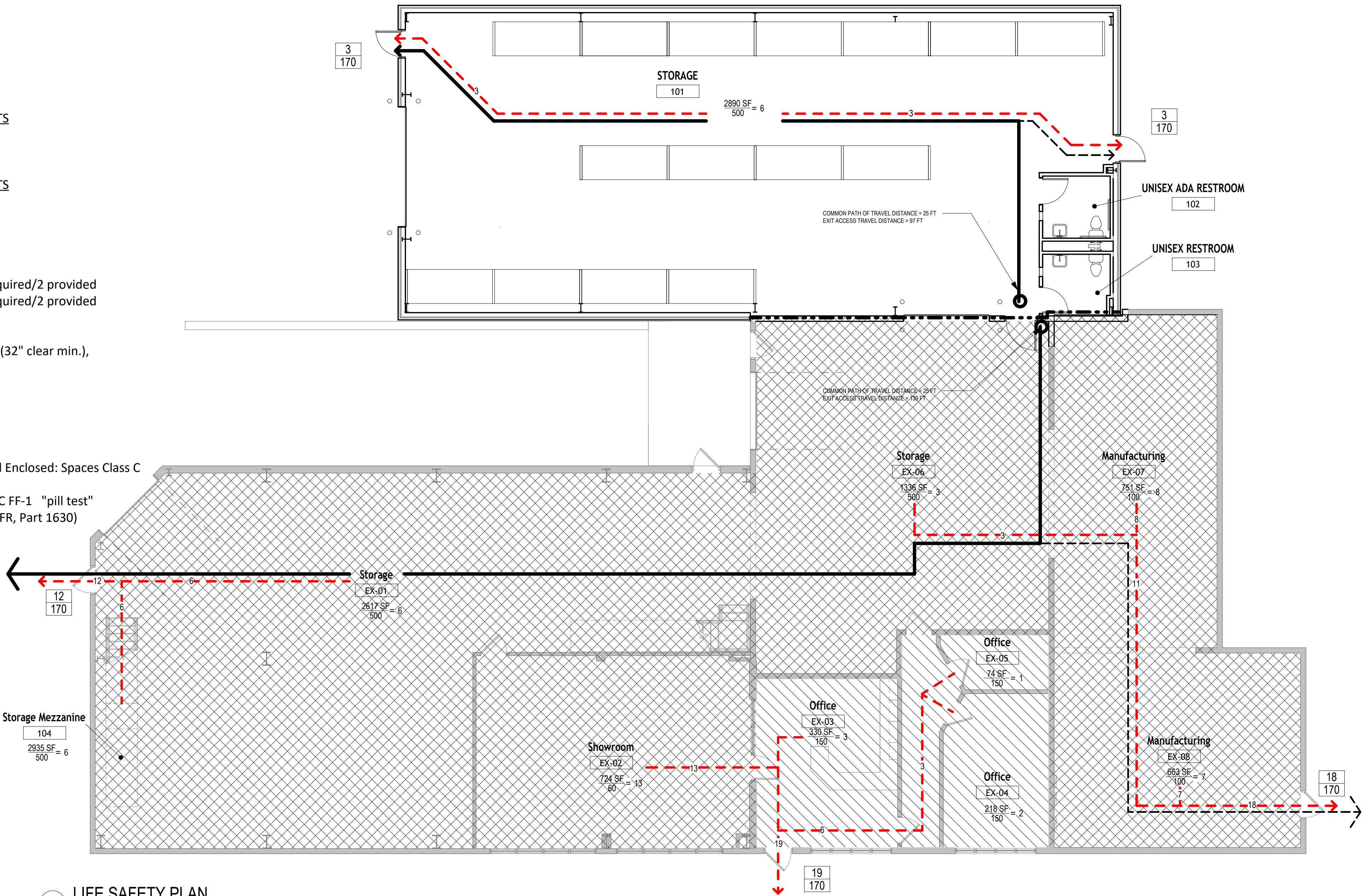
MAXIMUM TRAVEL DISTANCE
FROM FURTHEST POINT
- - - - -

EGRESS PATH
- . - . -

1 HOUR RATED WALL
- - - - -

2 HOUR RATED WALL
-

3 HOUR RATED WALL



1 LIFE SAFETY PLAN
1/8" = 1'-0"

YOST
Manufacturing & Supply, Inc.

1018 Hartford Tpk.
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5 Shaws Cove, Suite 103
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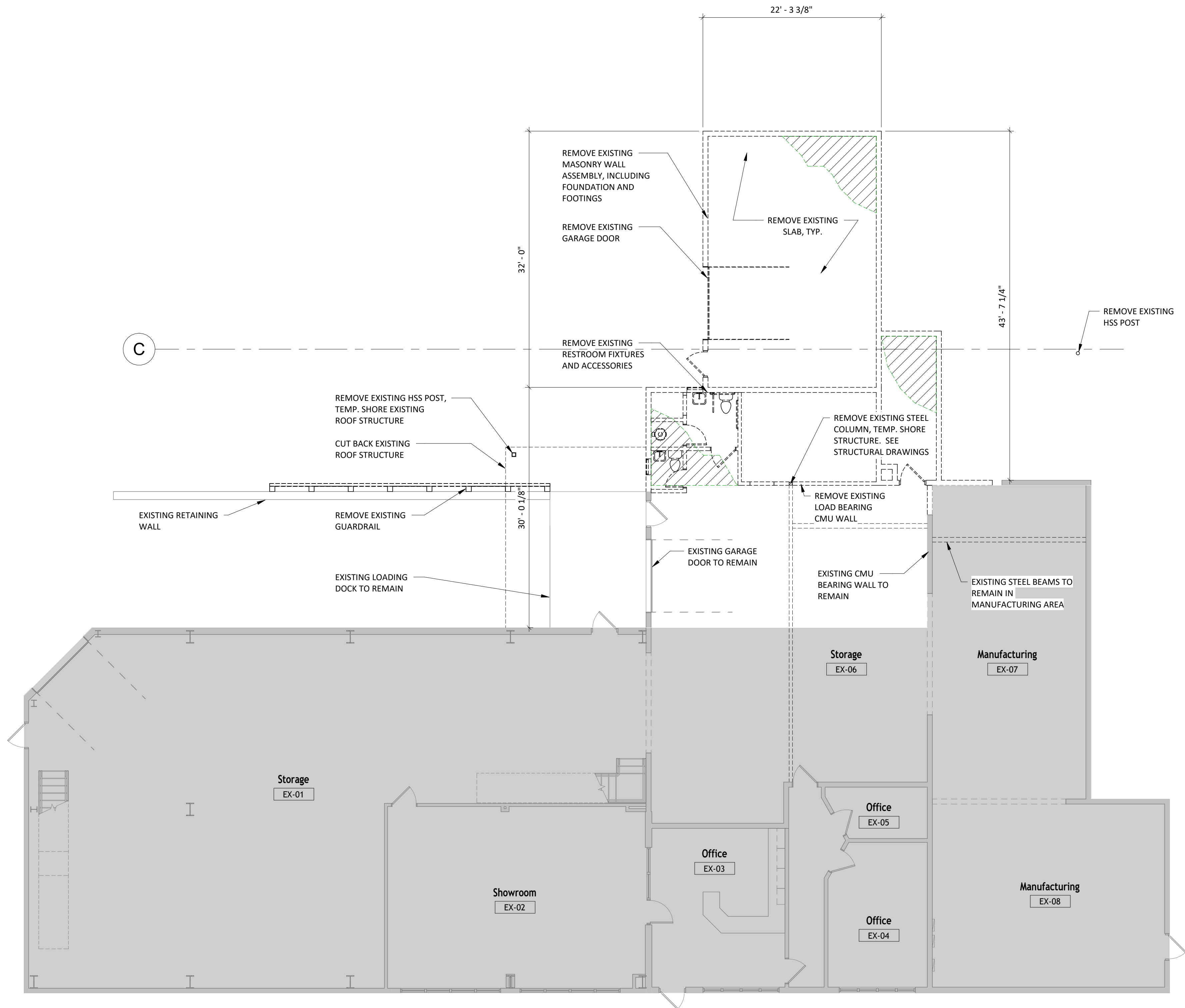
LIFE SAFETY PLAN

Drawing Number

LS-101



DEMOLITION PLAN NOTES			DEMOLITION PLAN LEGEND
1. THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL OF ALL ITEMS AS SHOWN OR NOTED ON THE ARCHITECT'S AND ENGINEER'S DRAWINGS.	7. PORTIONS OF THE EXISTING BUILDING INCLUDING FINISHES, MECHANICAL AND ELECTRICAL WORK DISTURBED BY DEMOLITION OR NEW CONSTRUCTION SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL CONDITION OR BETTER, U.O.N..	10. CONTRACTOR SHALL CONTACT OWNER OR ARCHITECT TO CONFIRM ANY ITEM NOT SPECIFICALLY NOTED ON PLAN. IF DISCREPANCY EXISTS, REMOVE AND SALVAGE ITEM FOR OWNER.	AREA NOT IN CONTRACT (NIC)
2. COORDINATE PROPOSED METHODS AND OPERATIONS WITH PROJECT MANAGER AND BUILDING MANAGEMENT PRIOR TO THE START OF DEMOLITION WORK INCLUDING COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.	8. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY POWER REQUIREMENTS DURING RENOVATIONS.	11. IF HAZARDOUS MATERIALS SHOULD BE DISCOVERED DURING DEMOLITION, CONTACT OWNER TO REVIEW MATERIAL AND ABATEMENT PROCEDURES.	EXISTING BASE BUILDING CONSTRUCTION TO REMAIN
3. VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO BEGINNING WORK.	9. DEFINITIONS: A. REMOVE : DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED. B. REMOVE AND SALVAGE : DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO OWNER READY FOR REUSE. C. REMOVE AND REINSTALL : DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE, STORE, OR REINSTALL THEM WHERE INDICATED. D. EXISTING TO REMAIN : EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.	12. FIREPROOF HOLES LEFT BY DEMOLITION TO MATCH FIRE RESISTANCE RATING OF WALL AND FLOOR.	EXISTING PARTITION TO BE REMOVED DEMO EXISTING TO REMAIN
4. ALL DEMOLITION TO BE COORDINATED AND PERFORMED BY THE APPROPRIATE TRADE. COORDINATE WORK WITH ALL PLANS, INCLUDING ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION.			EDGE OF FLOOR FINISH DEMOLITION
5. UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL LEAVE ALL AREAS BROOM CLEAN.			
6. COORDINATE ACCESS POINTS AND STAGING AREAS WITH BUILDING OWNER.			



1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

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Manufacturing & Supply, Inc.

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CARLIN
CONSTRUCTION COMPANY

DESIGN / BUILDER
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New London, CT 06320
860.444.2567

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Revisions

Issue Record

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Drawing Information

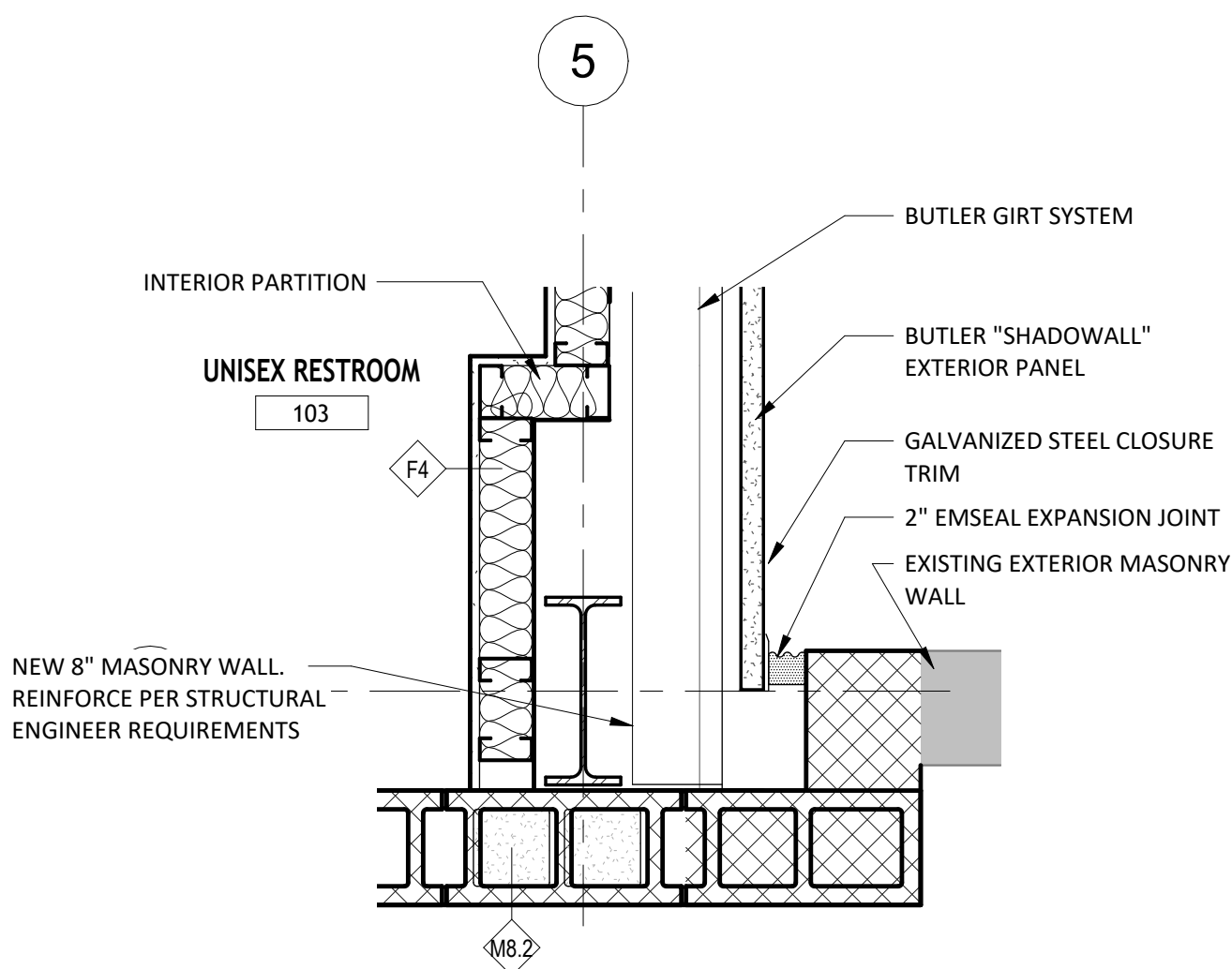
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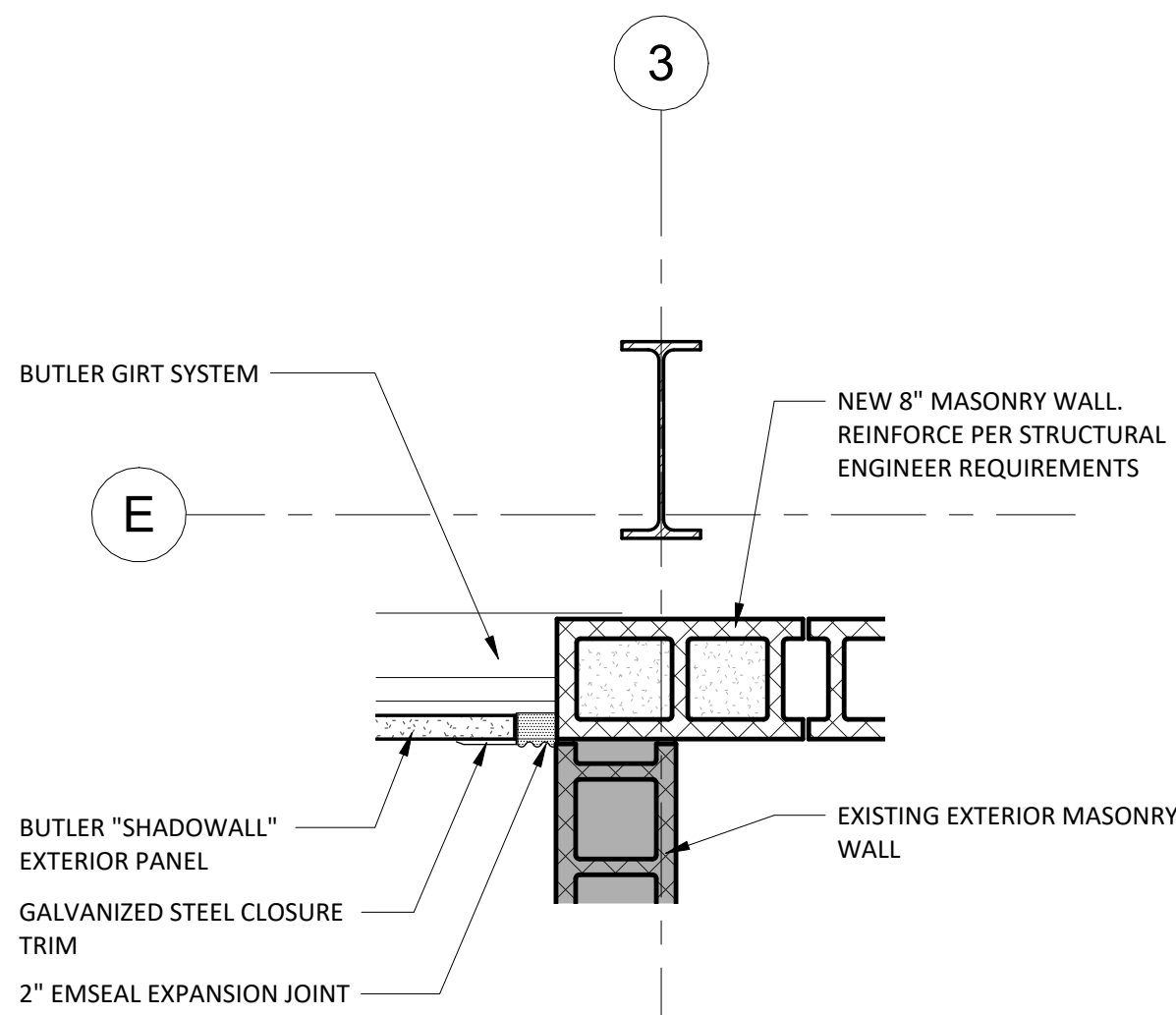
FIRST FLOOR
DEMOLITION PLAN

Drawing Number

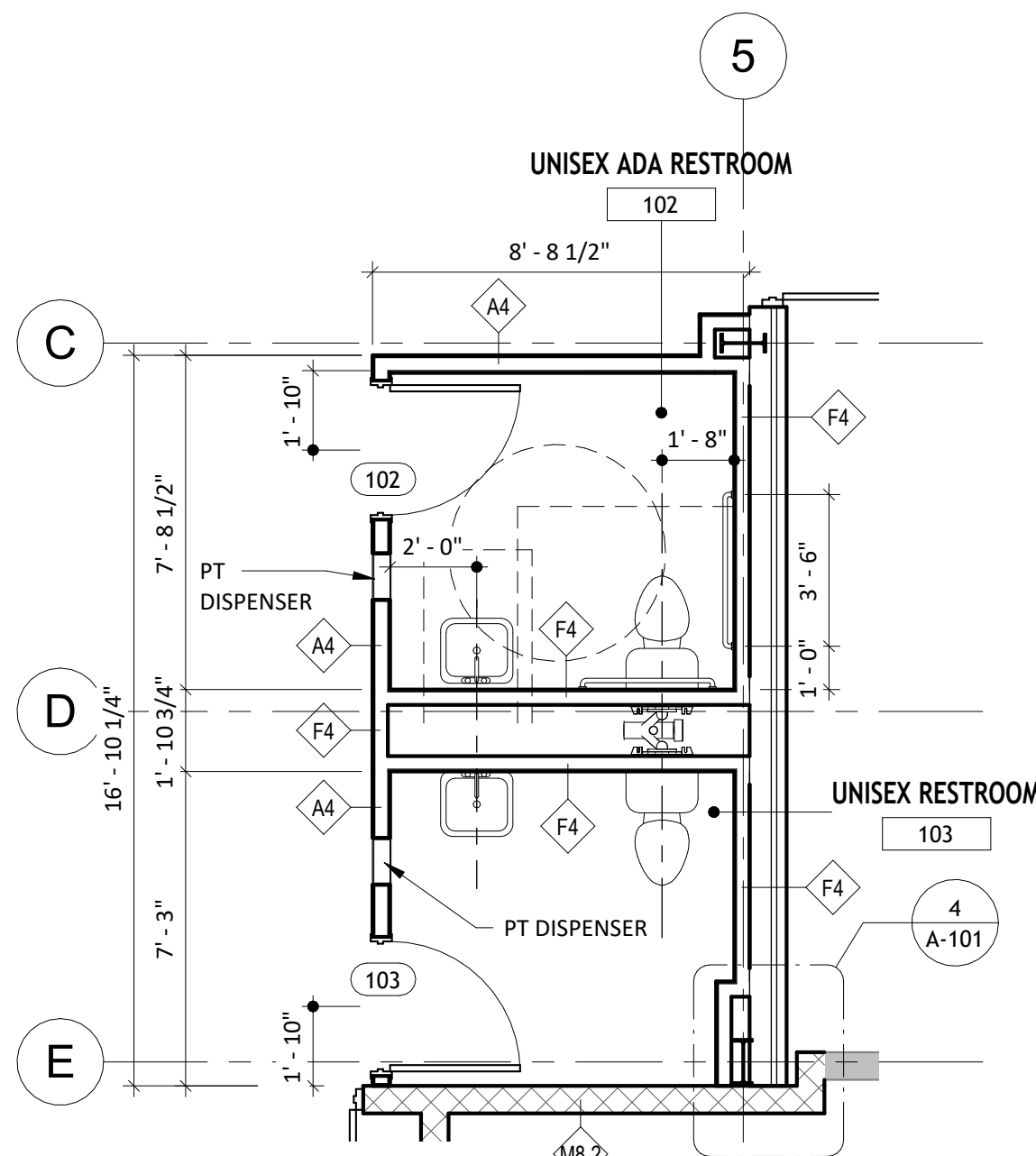
AD-101



4 PLAN DETAIL @ COLUMN 5.E
1" = 1'-0"

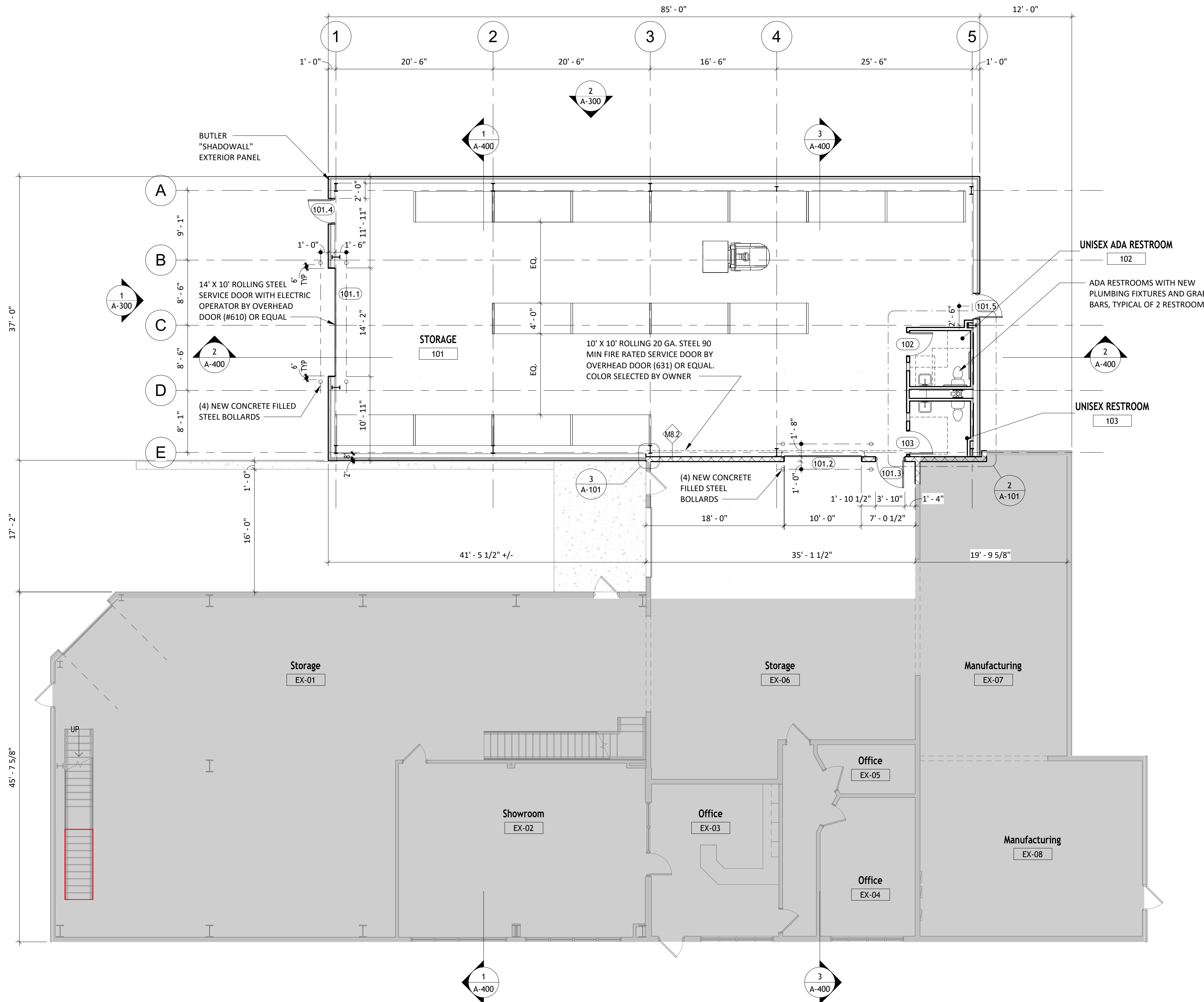


3 PLAN DETAIL @ COLUMN 3.E
1" = 1'-0"



2 ENLARGED RESTROOM PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES		FLOOR PLAN LEGEND
1. PARTITIONS LOCATED BY DIMENSION STRING ARE DIMENSIONED TO THE FACE OF STUD UNLESS OTHERWISE NOTED. 2. PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA: 2.A. <u>CENTERLINE</u> : CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR WINDOW MULLION). CENTER THE OVERALL PARTITION WIDTH, RATHER THAN STUD WIDTH ON THE LINE. 2.B. <u>ALIGN</u> : LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED. NEW CONSTRUCTION SHALL MATCH AND ALIGN WITH EXISTING, U.O.N. 2.C. <u>MAINTAIN</u> DIMENSIONS NOTED AS "MINIMUM" OR "CLEAR" WHERE NOTED. 3. DOOR OPENINGS THAT ARE NOT DIMENSIONED SHALL BE SPACED 5' FROM THE ADJACENT WALL. 4. PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ON A WALL ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF A PARTITION. 5. PROVIDE STIFFENERS, BRACING, BACKING PLATES AND BLOCKING REQUIRED FOR SECURE INSTALLATION OF DOORS AND DOOR HARDWARE INCLUDING WALL-MOUNTED DOOR STOPS, WALL-MOUNTED MILLWORK, AND WHITEBOARDS. 6. DO NOT OBSTRUCT ACCESS TO EXISTING EXITS, OR REDUCE THE WIDTH OF PUBLIC CORRIDORS. 7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK, OMISSIONS OR CONFLICTS IN THE DRAWINGS, AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK. IN THE CASE OF CONFLICTS BETWEEN DRAWINGS OR NOTES AND DRAWINGS, IT SHALL BE ASSUMED THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST OR SCOPE OF THE WORK AND SHALL APPLY TO THE QUESTIONED CONDITION.	8. FULLY LAY OUT GRID, WALL, AND OPENING PLACEMENT IN AN AREA PRIOR TO START OF PARTITION CONSTRUCTION. VERIFY THAT DIMENSIONS ARE CONSISTENT WITH REQUIREMENTS INDICATED IN THE DOCUMENTS. REFER ANY DIMENSIONAL INCONSISTENCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF PARTITION CONSTRUCTION. 9. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE BUILDING OFFICIAL AND CODE ADMINISTRATORS (BC) CODE AND ALL APPLICABLE CODES AND ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTIONS HAVING AUTHORITY. THE CONSTRUCTION MANAGER SHALL ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITIES AT THE PROPER TIME DURING PROGRESS OF THE WORK. 10. VERIFY ALL EXISTING CONDITIONS AND ALL DIMENSIONING PRIOR TO THE COMMENCEMENT OF WORK OR ORDERING OF MATERIAL. CONTRACTOR SHALL CONTACT THE ARCHITECT FOR THE RESOLUTION OF ANY DISCREPANCIES. 11. PROVIDE FIRE RETARDANT WOOD BLOCKING IN ALL PARTITIONS TO RECEIVE MILLWORK ITEMS, OR OTHER PARTITION MOUNTED FIXTURES AND ACCESSORIES. 12. DIMENSION AND NOTES FOR A GIVEN CONDITION ARE TYPICAL AT ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED. 13. ALL DOCUMENTS (ARCHITECTURAL, ENGINEERING, ETC.) AND PROJECT MANUAL ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING FOR ALL, UNLESS OTHERWISE NOTED.	



1 FIRST FLOOR PLAN
1/8" = 1'-0"

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Manufacturing & Supply, Inc.

1018 Hartford Tpke.
Waterford, Connecticut 06385

CARLIN
CONSTRUCTION COMPANY

DESIGN / BUILDER
5 Shaws Cove, Suite 103
New London, CT 06320
860.444.2567

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FIRST FLOOR PLAN

Drawing Number

A-101



ROOF PLAN NOTES		ROOF PLAN LEGEND	
- ALTERNATE 1: RE-ROOF ENTIRE SECTION OF EXISTING BUILDING AS INDICATED, INCLUDING NEW ROOF MEMBRANE, INSULATION, COPINGS AND ALL NECESSARY ROOF FLASHINGS. - PROVIDE PRE-FORMED SADDLES, CRICKETS, AND TAPERED EDGE STRIPS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. - OPENINGS IN ROOF ASSEMBLIES SHALL BE SEALED WITH PENETRATION SEALANT SYSTEMS MEETING OR EXCEEDING THE REQUIRED FIRE RESISTIVE RATINGS. - PENETRATIONS SHALL MEET LOCAL CODE REQUIREMENTS OR BASE BUILDING REQUIREMENTS. - THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK, OMISSIONS OR CONFLICTS IN THE DRAWINGS, AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK. IN THE CASE OF CONFLICTS BETWEEN DRAWINGS OR NOTES AND DRAWINGS, IT SHALL BE ASSUMED THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST OR SCOPE OF THE WORK AND SHALL APPLY TO THE QUESTIONED CONDITION.		EG	EXISTING EXHAUST GOOSENECK
		EV	EXISTING EXHAUST VENT
		EF	EXISTING EXHAUST FAN
		VS	EXISTING VENT STACK
		EJ	EXPANSION JOINT
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE BUILDING OFFICIAL AND CODE ADMINISTRATORS (IBC) CODE AND ALL APPLICABLE CODES AND ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTIONS HAVING AUTHORITY. THE GENERAL CONTRACTOR SHALL ARRANGE FOR REQUIRED INSPECTIONS BY AUTHORITIES AT THE PROPER TIME DURING PROGRESS OF THE WORK. - VERIFY ALL EXISTING CONDITIONS AND ALL DIMENSIONING PRIOR TO THE COMMENCEMENT OF WORK OR ORDERING OF MATERIAL. CONTRACTOR SHALL CONTACT THE ARCHITECT FOR THE RESOLUTION OF ANY DISCREPANCIES. - PROVIDE PRESSURE AND FIRE RETARDANT WOOD BLOCKING IN ALL BLOCKING LOCATIONS. - DRAWINGS AT A LARGER SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE, EXCEPT FOR ANY INCONSISTENCIES THAT MAY BE FOUND IN THE DRAWINGS. REQUEST CLARIFICATION OF SUCH INCONSISTENCIES PRIOR TO COMMENCEMENT OF WORK.		SLOPE 1/4" PER FOOT, TYP.	DIRECTION OF PITCH
			HATCHED AREA INDICATES ROOF CRICKET
			ROOF WALKWAY PAD

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ROOF PLAN

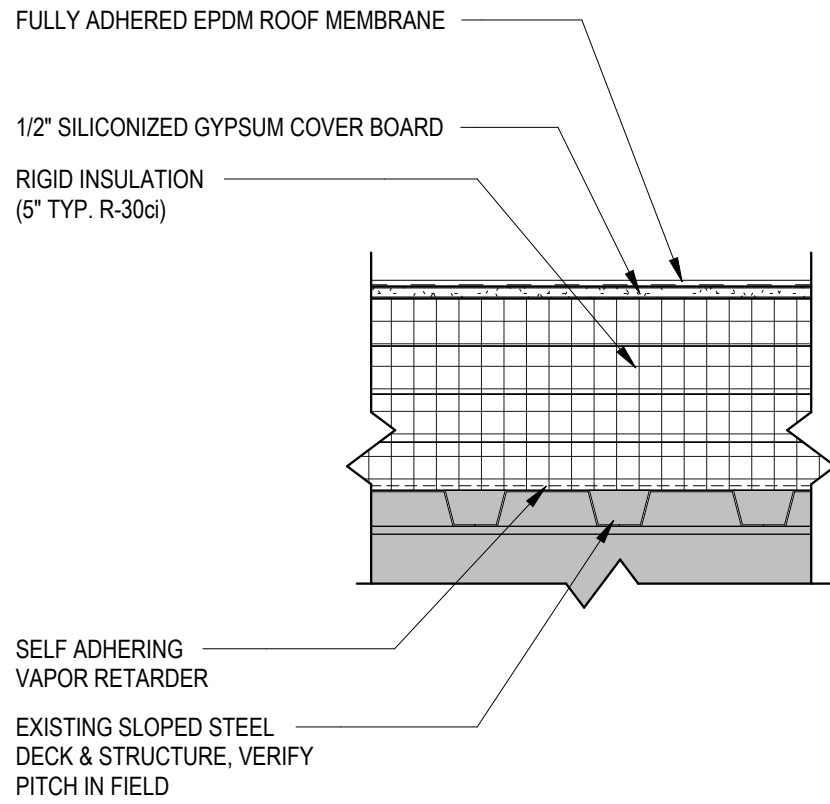
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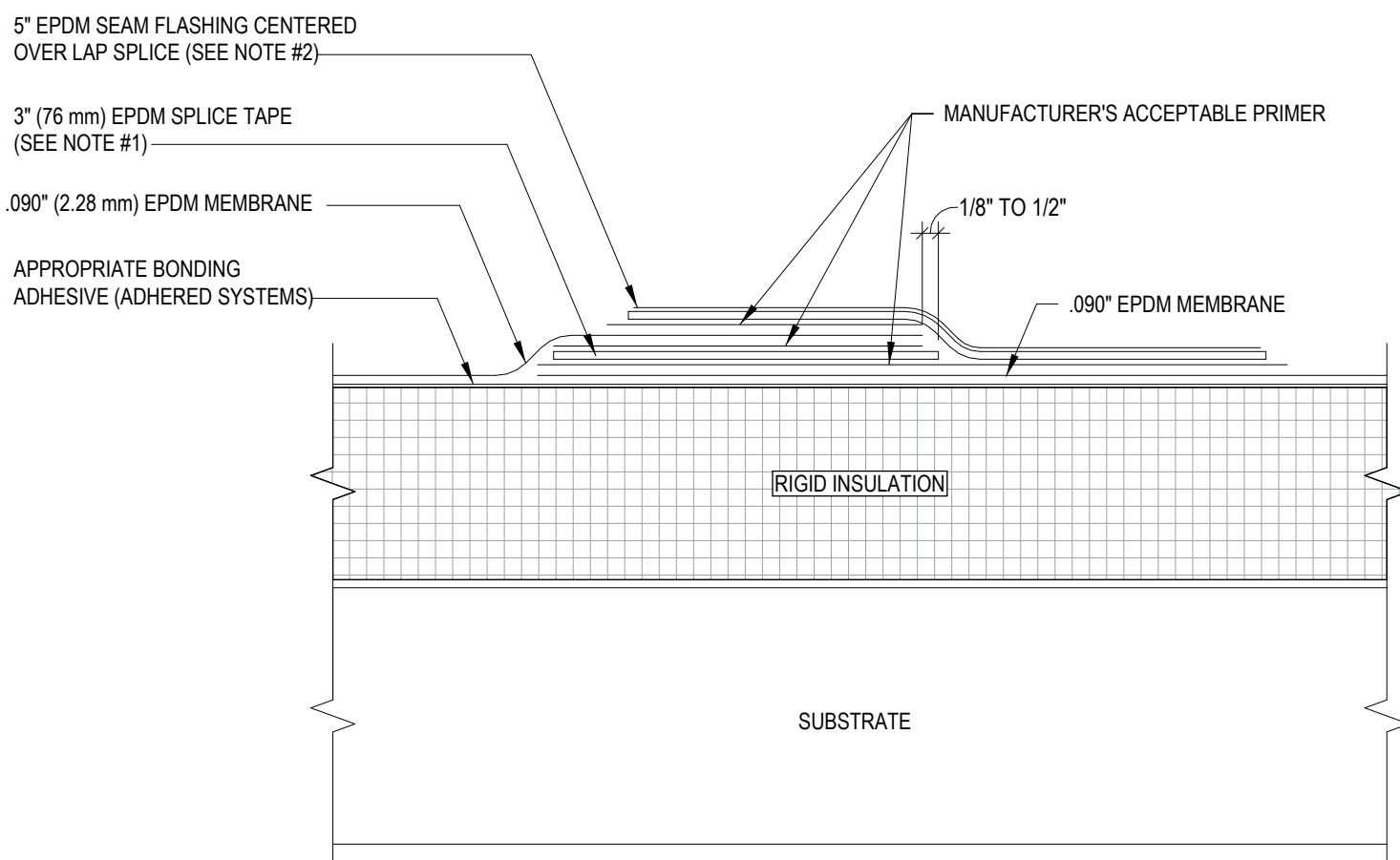
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4 ALTERNATE 1 - TYPICAL EPDM ROOFING ASSEMBLY

1 1/2" = 1'-0"



- NOTE:
- END LAPS OF EPDM SPLICE TAPE MUST OVERLAP A MINIMUM OF 1" (25 mm).
 - END LAPS OF 5" (127 mm) EPDM SEAM FLASHING MUST OVERLAP A MINIMUM OF 3" (76 mm)

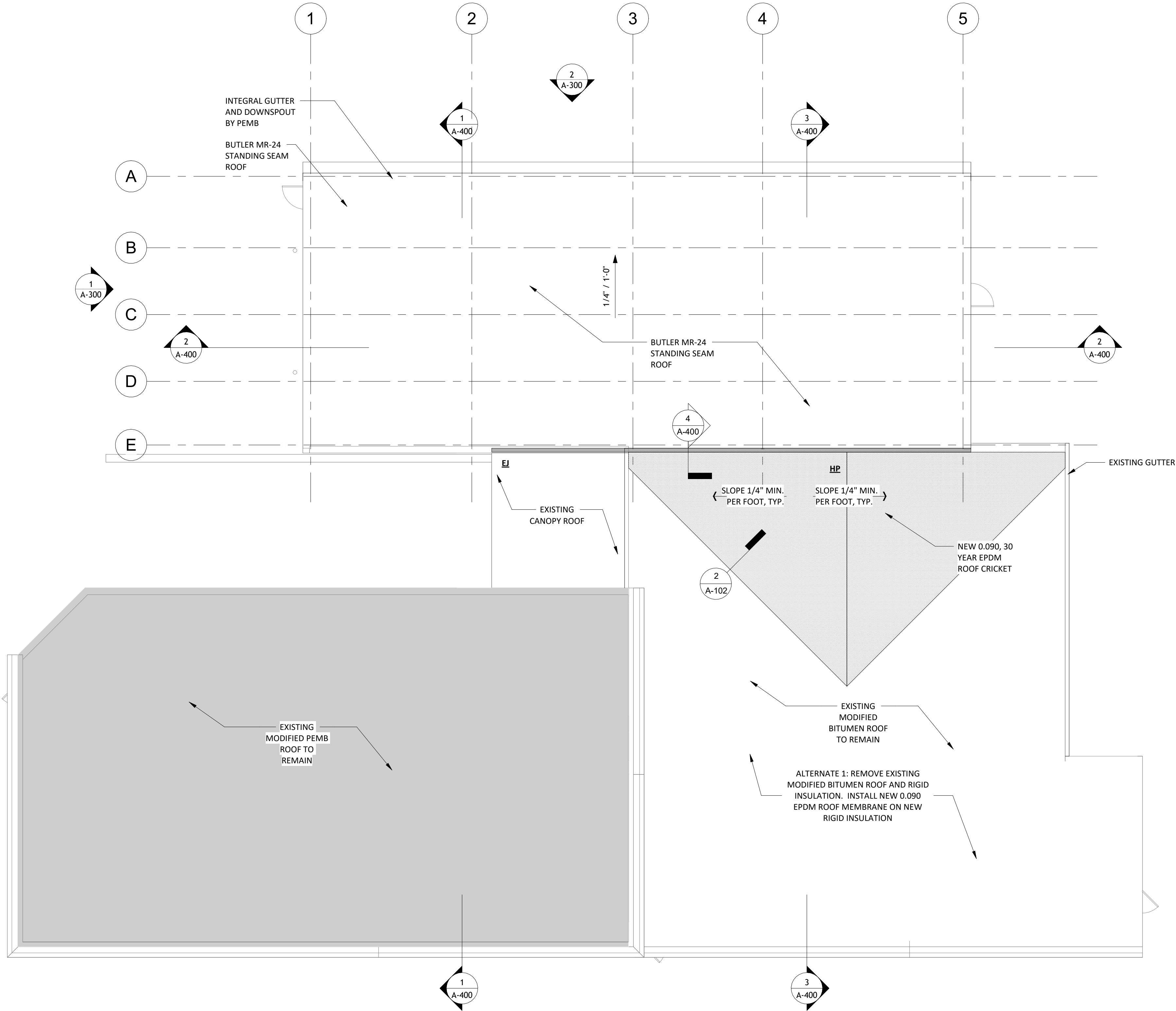


2 SECTION DETAIL AT SEAM

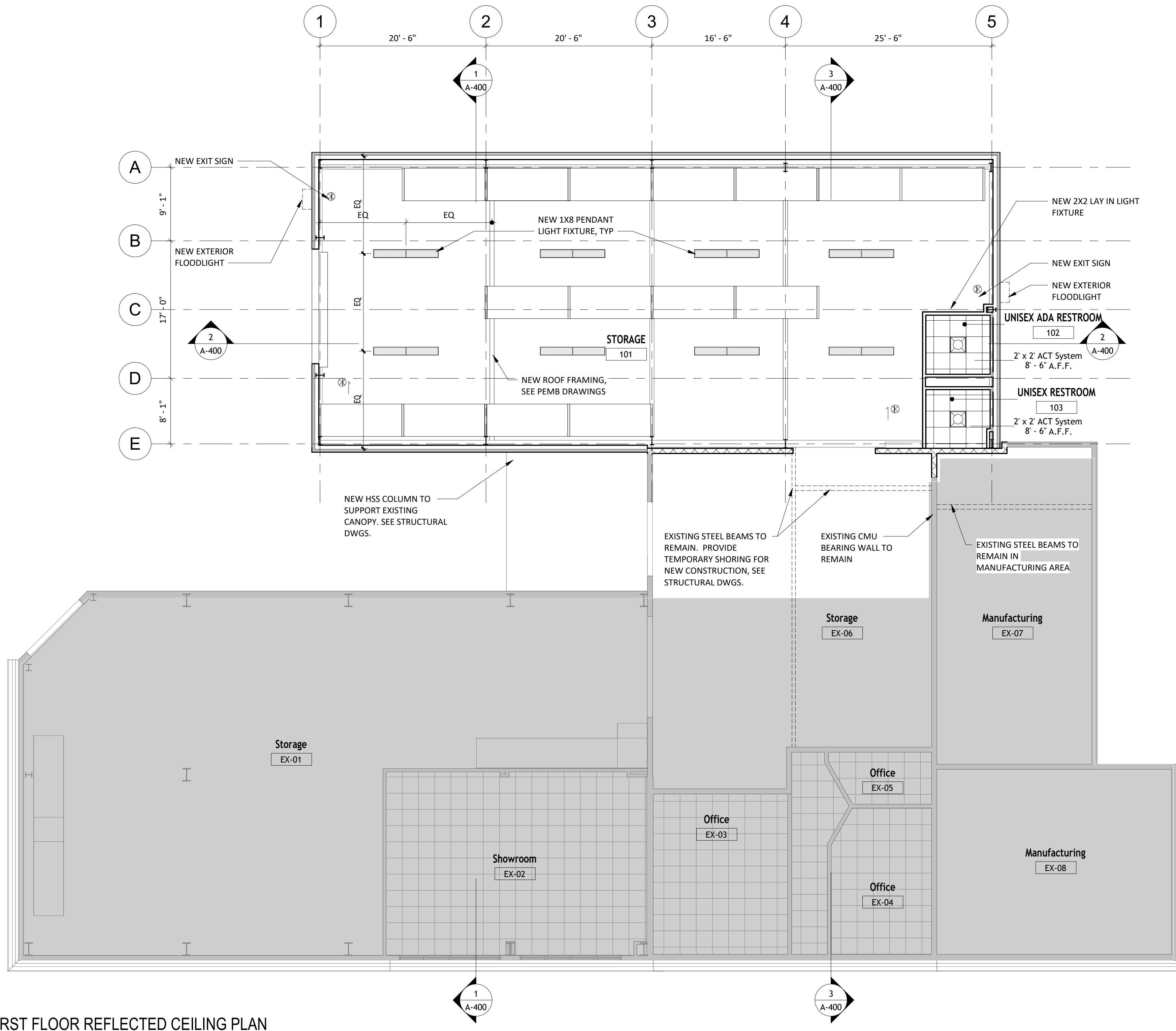
6" = 1'-0"

1 ROOF PLAN

1/8" = 1'-0"



REFLECTED CEILING PLAN NOTES		REFLECTED CEILING PLAN LEGEND	
1. DIFFUSERS, SPRINKLERS HEADS, AND OTHER MIP ITEMS IN THE CEILING TO BE PERFORMED BY DESIGN/BUILD SUBCONTRACTOR. 2. VERIFY WITH ARCHITECT LOCATION OF VISIBLE CEILING ELEMENTS NOT SHOWN ON ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION. 3. VERIFY CLEARANCE OF CEILING ELEMENTS FOR LOCATIONS SHOWN PRIOR TO INSTALLATION. 4. TYPICAL COVER PLATE AND DEVICE FINISH SHALL BE WHITE UNLESS OTHERWISE NOTED. 5. LOCATE EXIT SIGNS, CEILING STROBES, LIGHT FIXTURES, SMOKE DETECTORS AND OTHER DEVICES EXPOSED AT ACOUSTICAL PANEL CEILINGS IN THE CENTER OF THE ACOUSTICAL CEILING PANEL, UNLESS OTHERWISE NOTED. 6. CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, LIGHTS, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION. SUPPORT THESE ITEMS INDEPENDENTLY FROM THE STRUCTURE ABOVE. 7. LIGHT FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED. 8. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF MECHANICAL, ELECTRICAL, AND LIGHTING INSTALLATION.	ACT: 24"X24" FINE FISSURED MINERAL FIBER CEILING TILE, ARMSTRONG FINE FISSURED #1728 OR EQUAL, HUMIGUARD PLUS HUMIDITY RESISTANCE, CLASS A FIRE RATING, IN 15/16" EXPOSED WHITE GRID.		EXISTING PARTITION
			NEW PARTITION
			AREA NOT IN CONTRACT (NIC)
			NEW SUPPLY DIFFUSER
			NEW RETURN AIR DIFFUSER
			NEW 2X2 TROFFER LIGHT FIXTURE
			NEW EXIT SIGN
			NEW 1X SURFACE MOUNTED LIGHT FIXTURE



1 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

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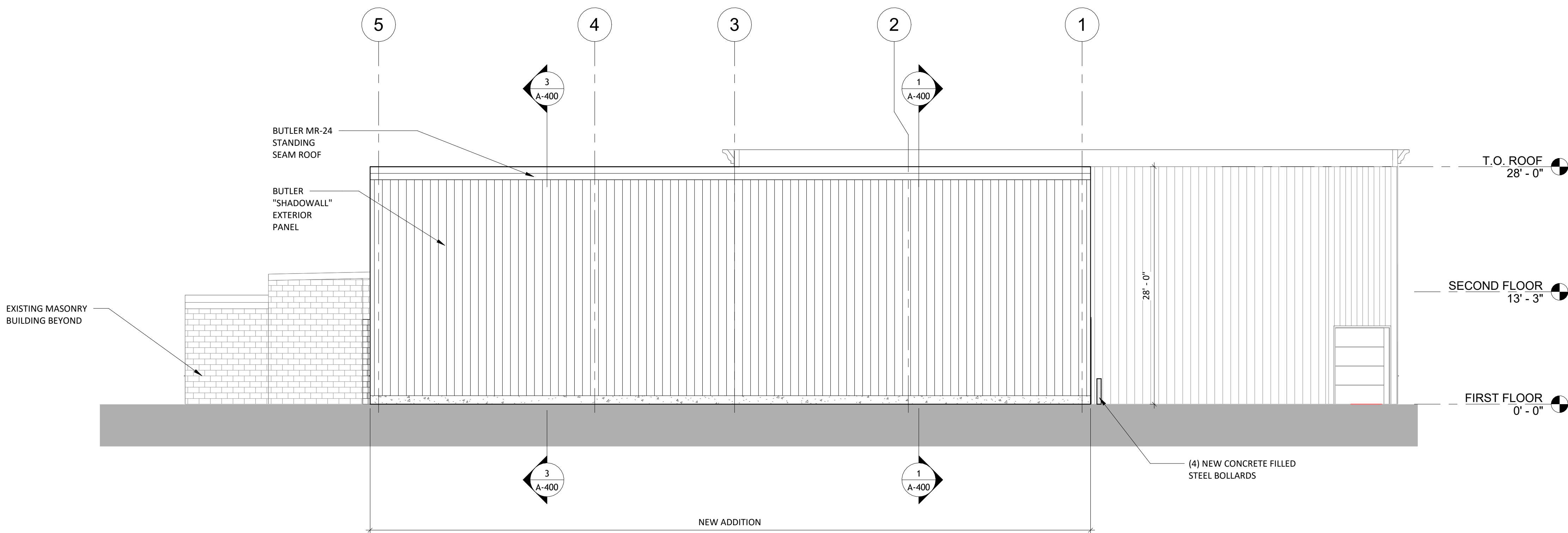
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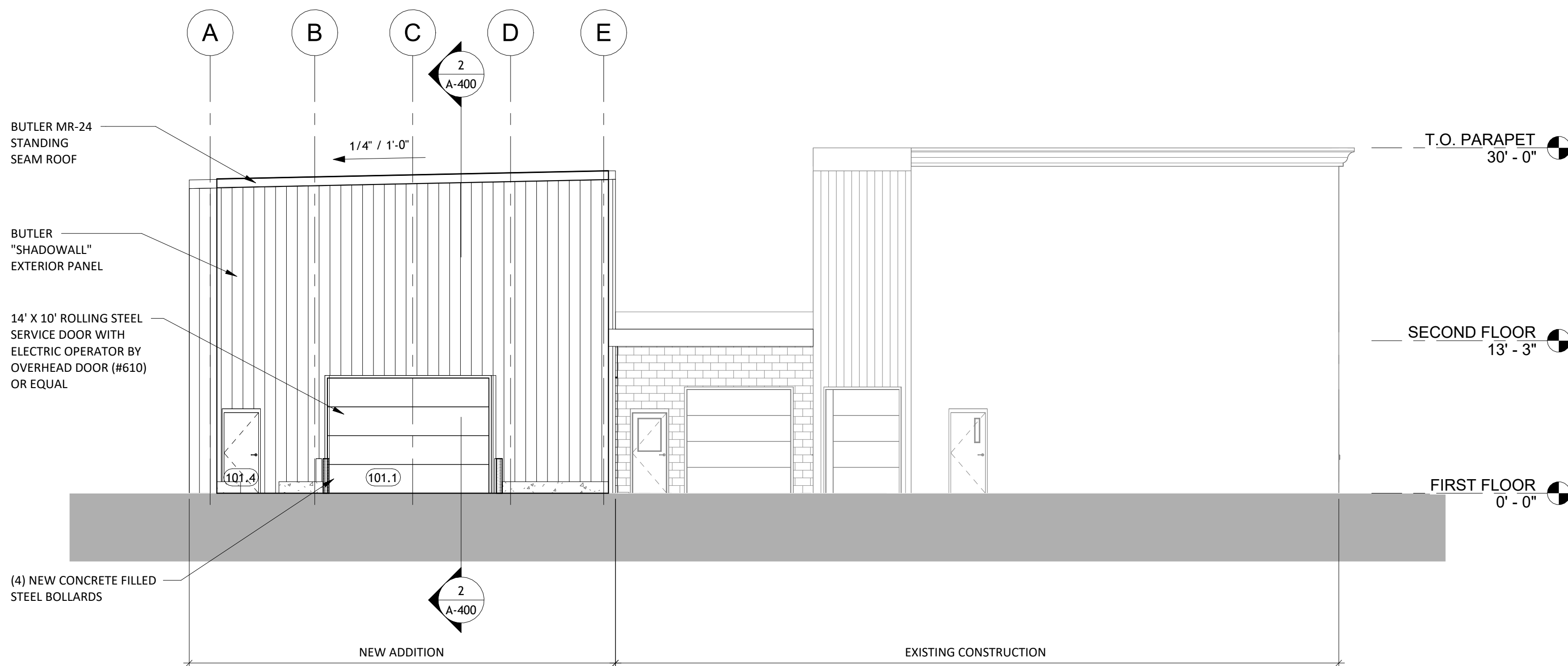
REFLECTED CEILING
PLAN

Drawing Number

A-211



2 NEW ADDITION - NORTH ELEVATION
1/8" = 1'-0"



1 NEW ADDITION - WEST ELEVATION
1/8" = 1'-0"

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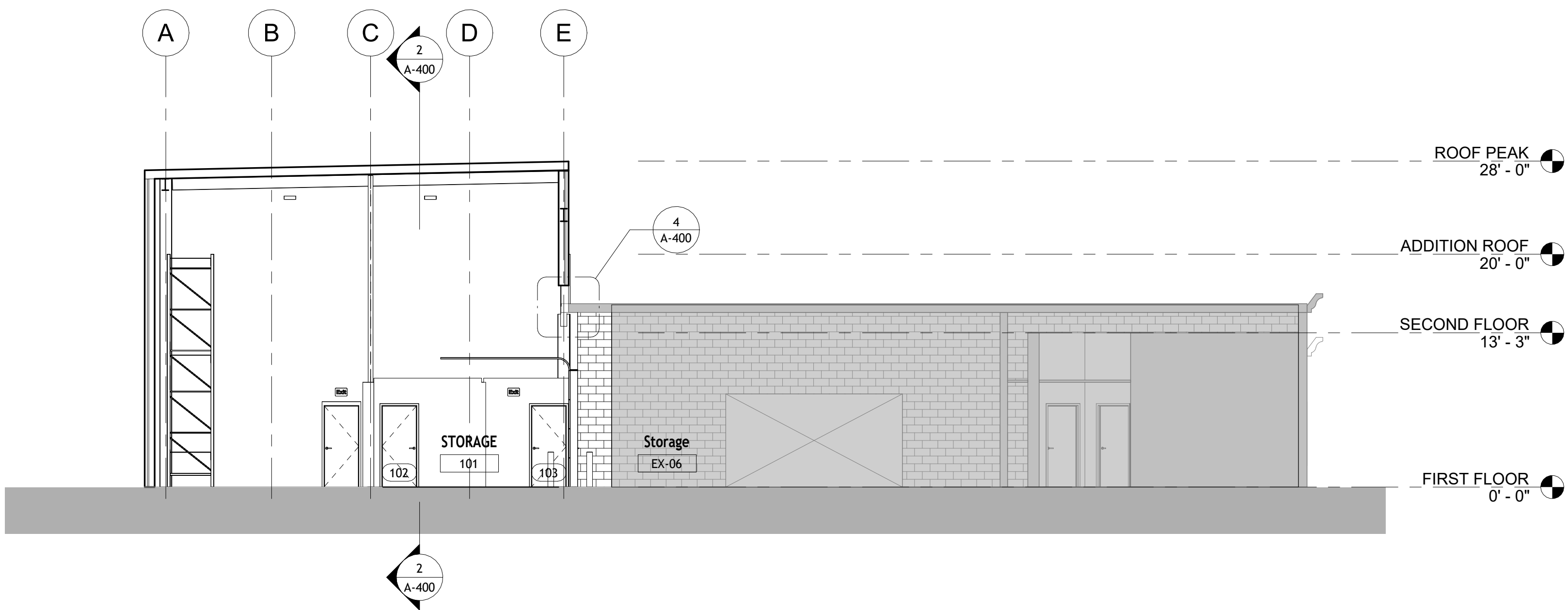
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OVERALL BUILDING
ELEVATIONS

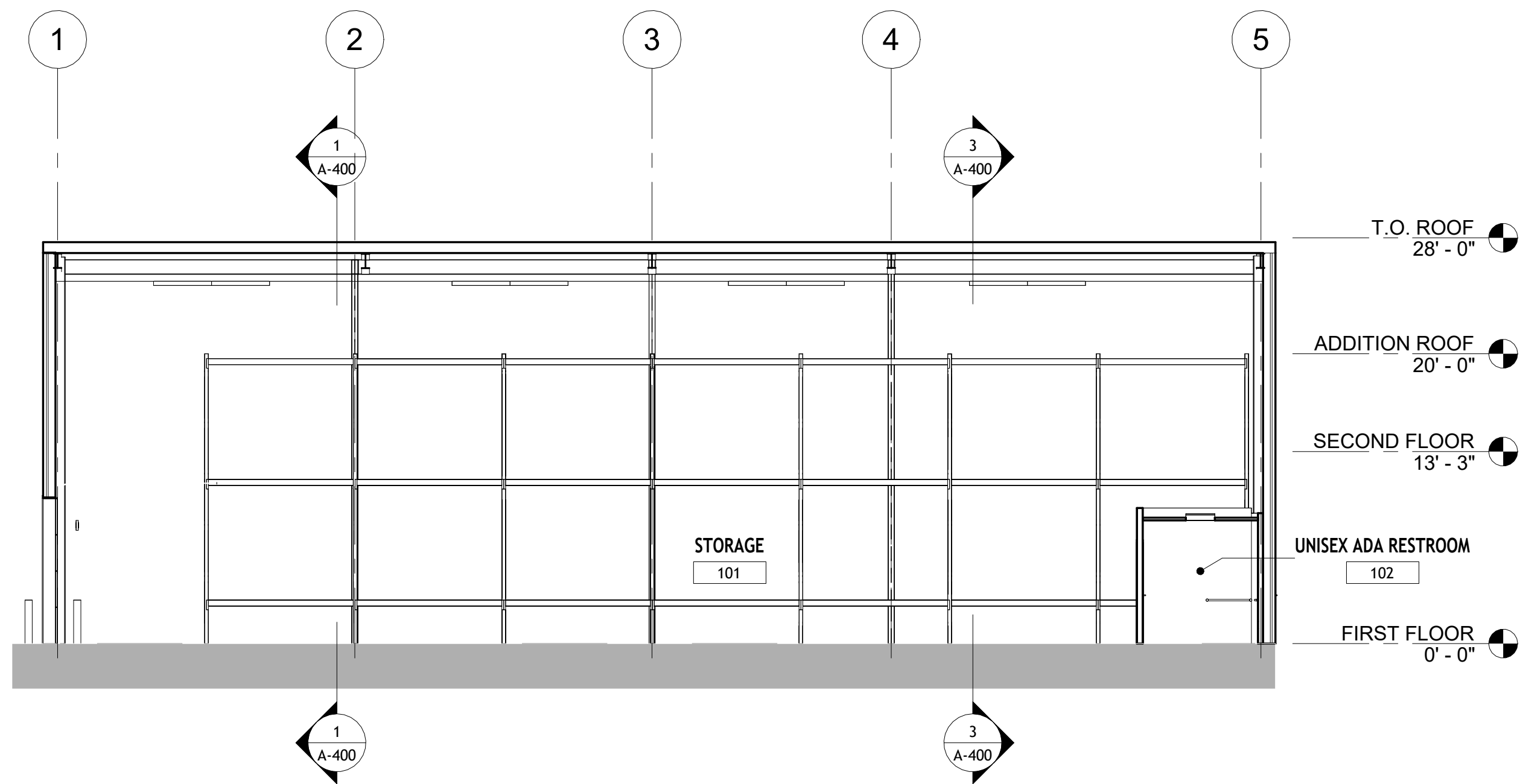
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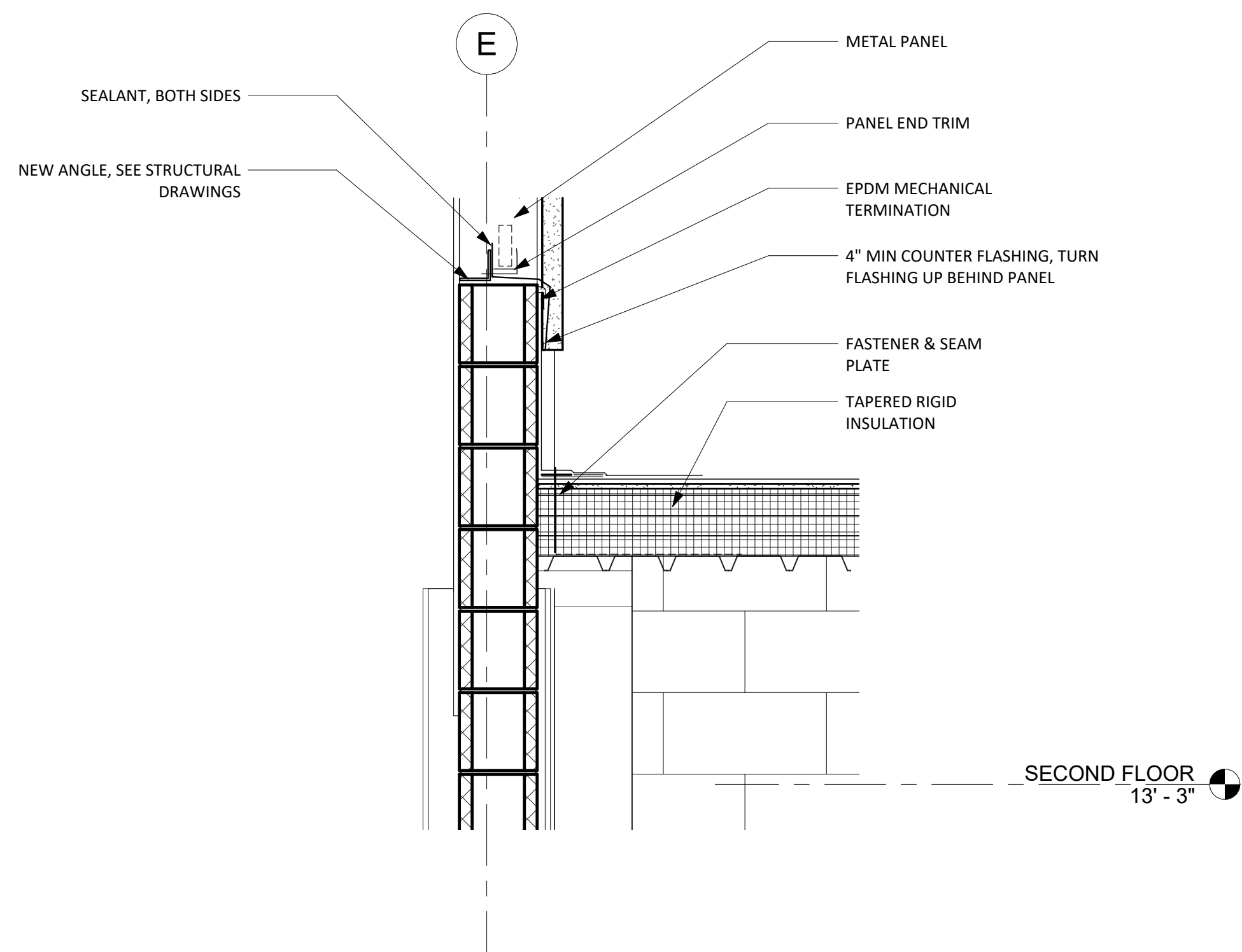
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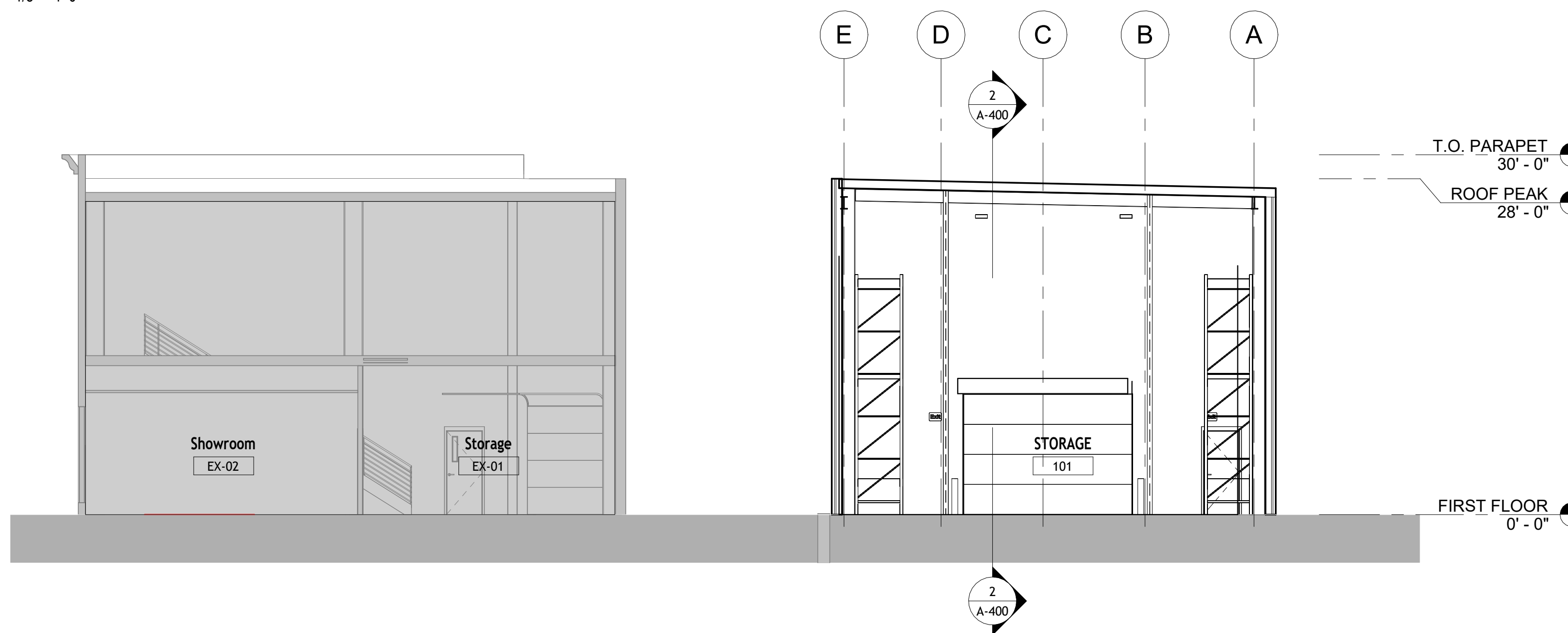
3 TRANSVERSE SECTION THRU EXISTING BUILDING AND NEW ADDITION
1/8" = 1'-0"



2 LONGITUDINAL SECTION THRU NEW STORAGE BUILDING ADDITION
1/8" = 1'-0"



4 SECTION DETAIL @ ROOF TRANSITION TO NEW ADDITION
1" = 1'-0"



1 TRANSVERSE SECTION THRU NEW STORAGE BUILDING ADDITION
1/8" = 1'-0"

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OVERALL BUILDING
SECTIONS

Drawing Number

A-400

NUMBER	ROOM NAME	FIRE RATING	DOOR					FRAME			Hardware Group	JAMB	HEAD	REMARKS
			WIDTH	HEIGHT	TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH				
FIRST FLOOR														
101.1	STORAGE		14' - 0"	10' - 0"	RSD	ST	PT3		ST	PT3				EXTERIOR OVERHEAD DOOR - STANDARD PRIME PAINT AND TOP COAT - GRAY
101.2	STORAGE	90	10' - 0"	10' - 0"	RSD	ST	PT3		ST	PT3				INTERIOR FIRE RATED OVERHEAD DOOR - STANDARD PRIME PAINT AND TOP COAT - GRAY
101.3	STORAGE	90	3' - 6"	7' - 0"	SG	HM	PT1	B	HM	PT1	1	3	4	RATED DOOR TO ADDITION
101.4			3' - 0"	7' - 0"	SG	HM	PT2	A	HM	PT2	2	5	6	EXTERIOR EGRESS DOOR
101.5			3' - 0"	7' - 0"	F	HM	PT2	A	HM	PT2	2	5	6	EXTERIOR EGRESS DOOR
102	STORAGE		3' - 0"	7' - 0"	F	HM	PT1	A	HM	PT1	3	1	2	RESTROOM
103	STORAGE		3' - 0"	7' - 0"	F	M	PT1	A	HM	PT1	3	1	2	RESTROOM

HARDWARE SETS

SET #1 - RATED PASSAGE DOOR BETWEEN EXISTING AND NEW ADDITION

3 BUTT HINGES	MCKINNEY	TA2714	4-1/2" X 4-1/2", BALL BEARING	FINISH: US32D
1 PASSAGE LOCKSET	BEST	9K15T	PASSAGE FUNCTION, FIRE RATED	FINISH: US32D
1 DOOR CLOSER	NORTON	1601	SURFACE MOUNTED SELF CLOSING	FINISH: US32D
1 WALL STOP	ROCKWOOD	400	FLOOR STOP	FINISH: US32D
3 FRAME SILENCERS	ROCKWOOD	608		COLOR: GRAY
1 COAT HOOK	ROCKWOOD	555		FINISH: US32D

SET #2 - EXTERIOR EGRESS DOOR

3 BUTT HINGES	MCKINNEY	TA2714	4-1/2" X 4-1/2", BALL BEARING	FINISH: US32D
1 CROSSBAR EXIT DEVICE	VON DUPRIN	8827 SVR	WIDE STILE LESS CENTER ASTRAGAL	FINISH: US32D
1 OFFICE LOCKSET	BEST	9K37N	#16	FINISH: US32D
1 DOOR CLOSER	NORTON	1601	SURFACE MOUNTED	FINISH: US32D
WEATHERSTRIPPING	PEMCO	3452	OR APPROVED EQUAL	FINISH: US32D
1 DOOR SWEEP	PEMCO	K1050X48EXCSK	10" X 34"	FINISH: US32D
1 KICK PLATE	ROCKWOOD	1/2"	ADA COMPLIANT	ALUMINUM
1 THRESHOLD	PEMCO			

SET #3 - RESTROOM WITH PRIVACY INDICATOR

3 BUTT HINGES	MCKINNEY	TA2714	4-1/2" X 4-1/2", BALL BEARING	FINISH: US32D
1 LOCKSET (PRIVACY)	BEST	9K40T	OCCUPANCY INDICATOR	FINISH: US32D
1 DOOR CLOSER	NORTON	1601	SURFACE MOUNTED	FINISH: US32D
1 WALL STOP	ROCKWOOD	409	WALL STOP	FINISH: US32D
3 FRAME SILENCERS	ROCKWOOD	608		COLOR: GRAY
1 COAT HOOK	ROCKWOOD	555		FINISH: US32D

INTERIOR DOORS AND FRAMES -

FRAME

Interior door frames must be 16 gauge.

DOOR

- 1-3/4" thick
- Seamless flush door
- SDI-100 Grade II (Heavy Duty)
- Minimum 18 gauge cold-rolled steel face sheets
- Honeycomb core construction
- Factory primed for field painting
- Top and bottom edges closed and flush

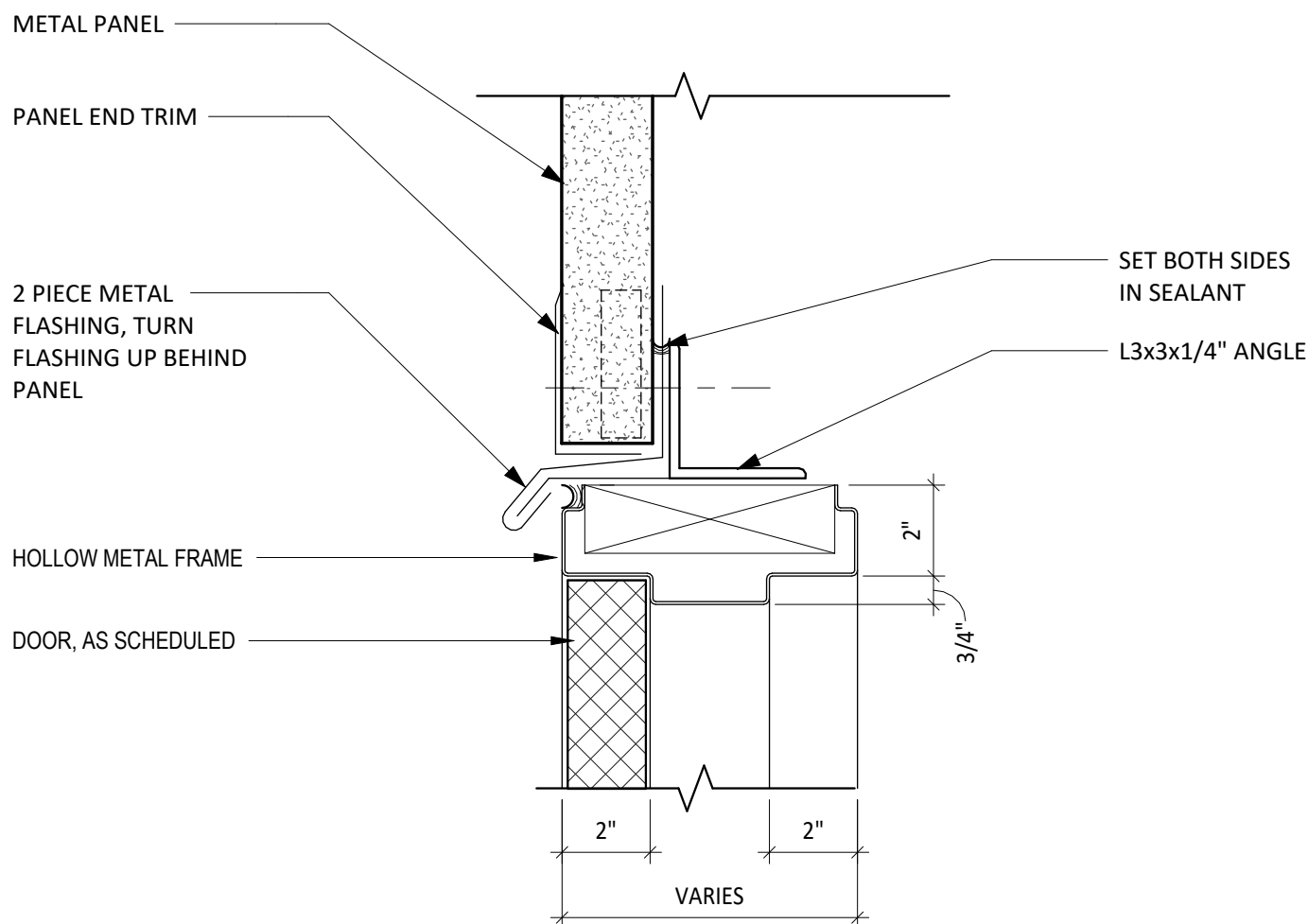
EXTERIOR DOORS AND FRAMES -

FRAME

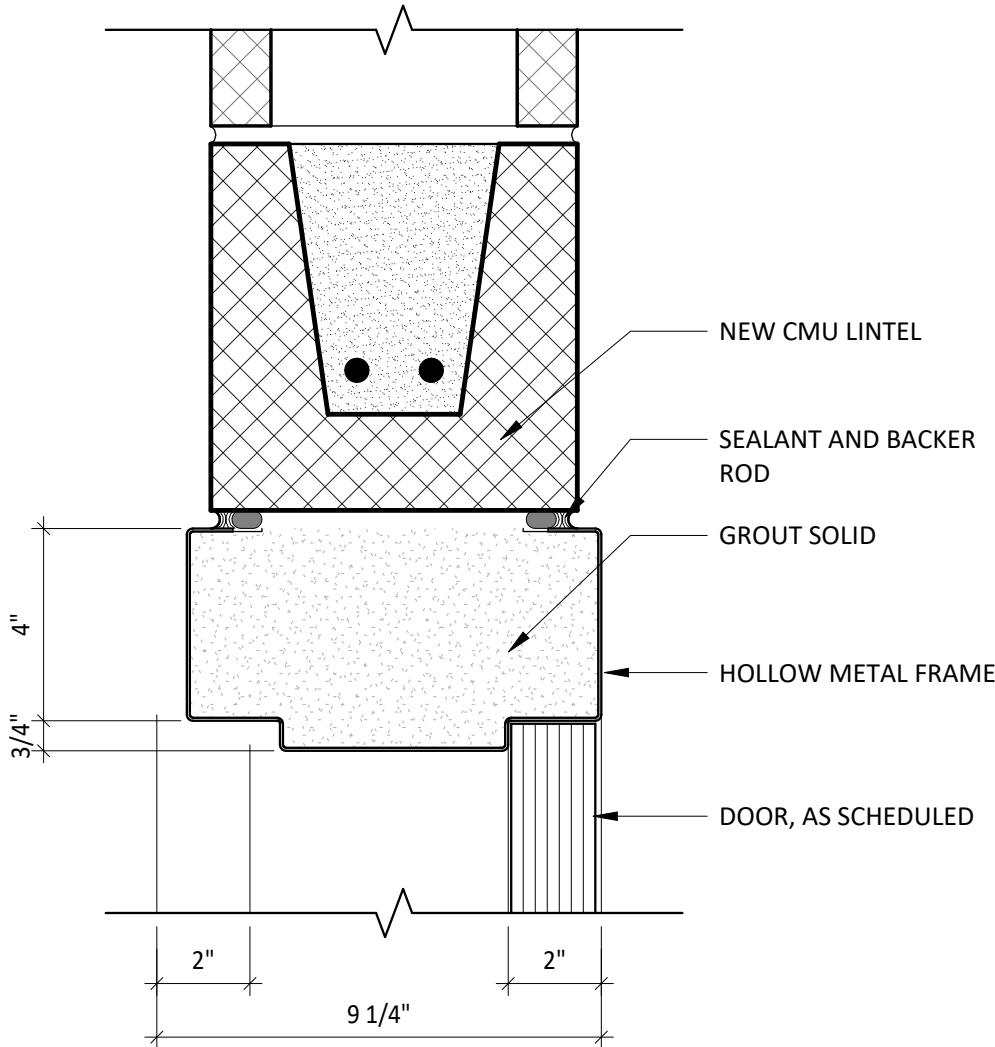
Exterior door frames must be 16 gauge and galvanized, fully welded

DOOR

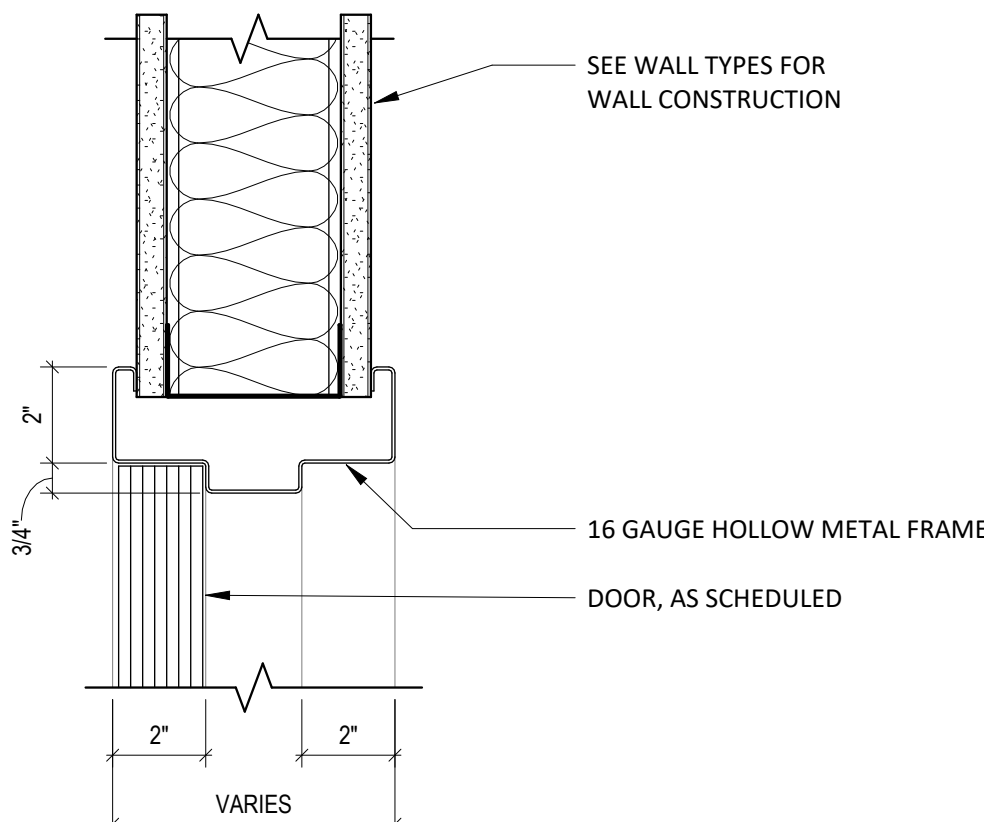
- 1-3/4" thick
- Seamless flush doors
- SDI-100 Grade III
- Minimum 18-gauge, zinc-coated, A60 galvanized steel sheet, with a polystyrene or polyurethane core
- Minimum U-value of .24
- Top edge closed flush



6 HEAD @ HM FRAME
3" = 1'-0"



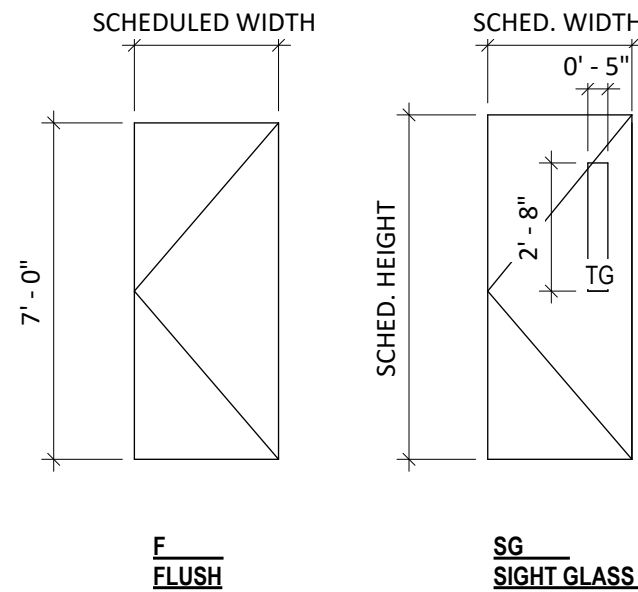
3 HEAD @ HM FRAME
3" = 1'-0"



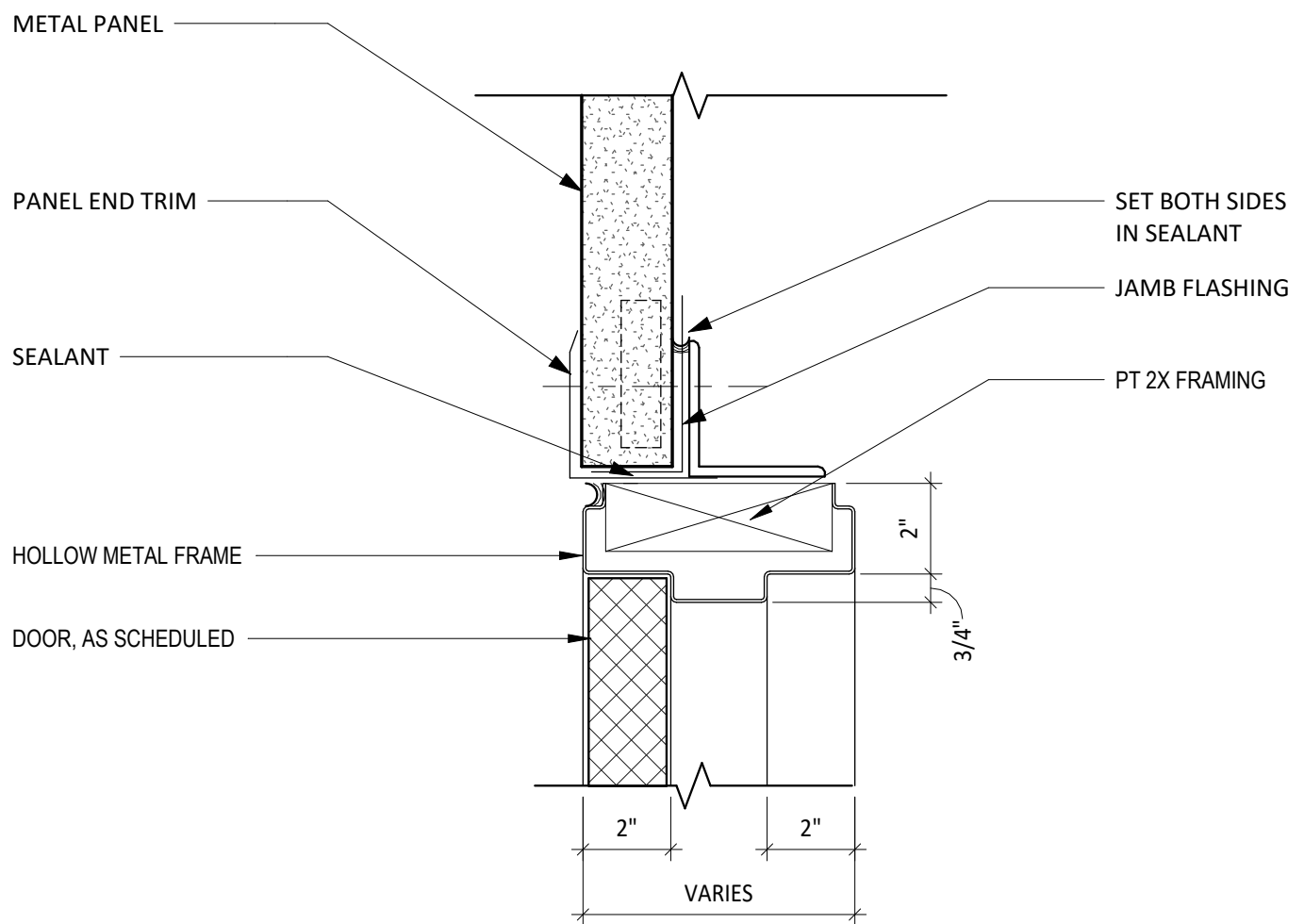
2 HEAD @ HM FRAME
3" = 1'-0"

GLASS TYPES

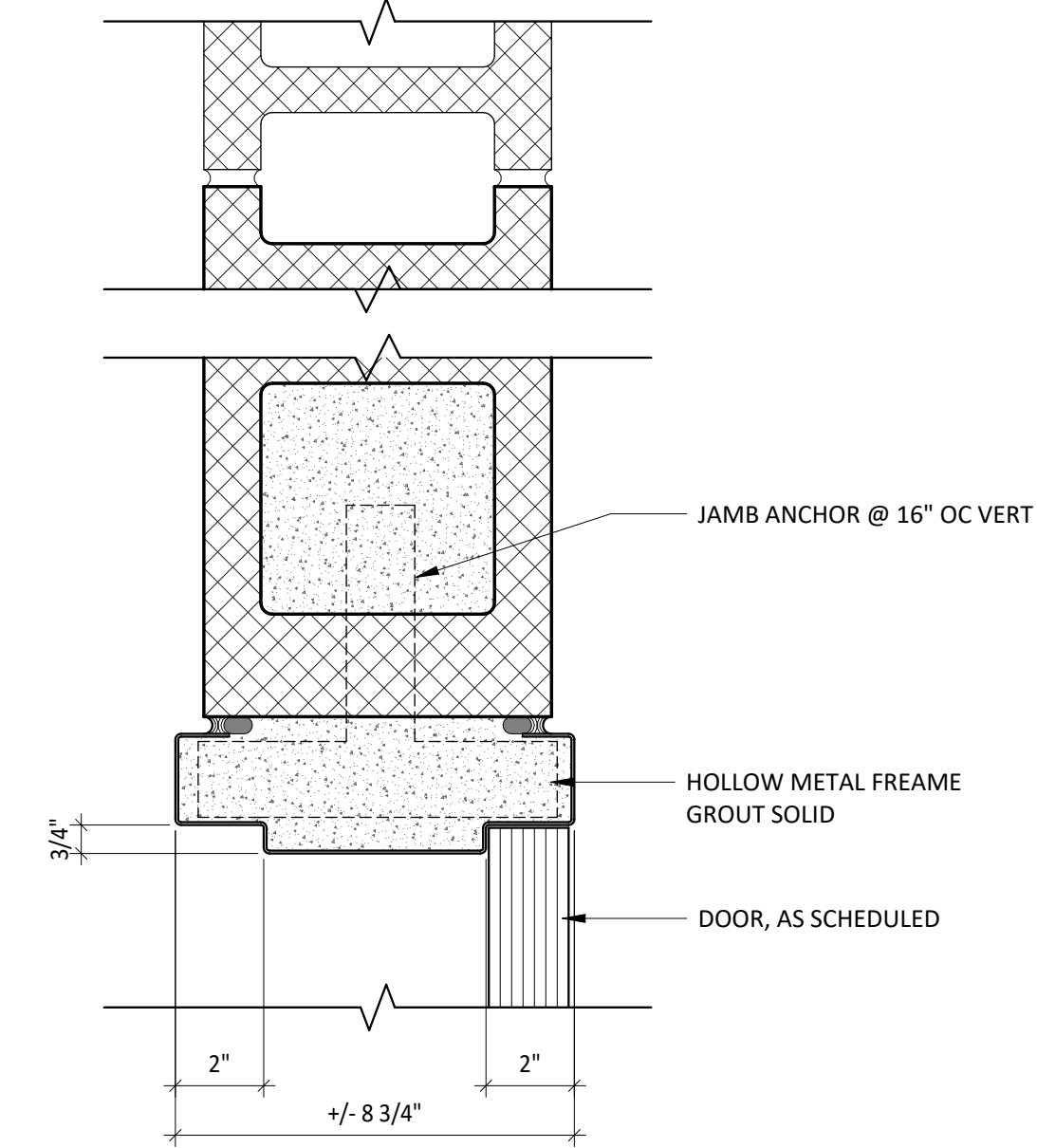
IG	TINTED INSULATED
TG	CLEAR TEMPERED
FG	FIRE RATED



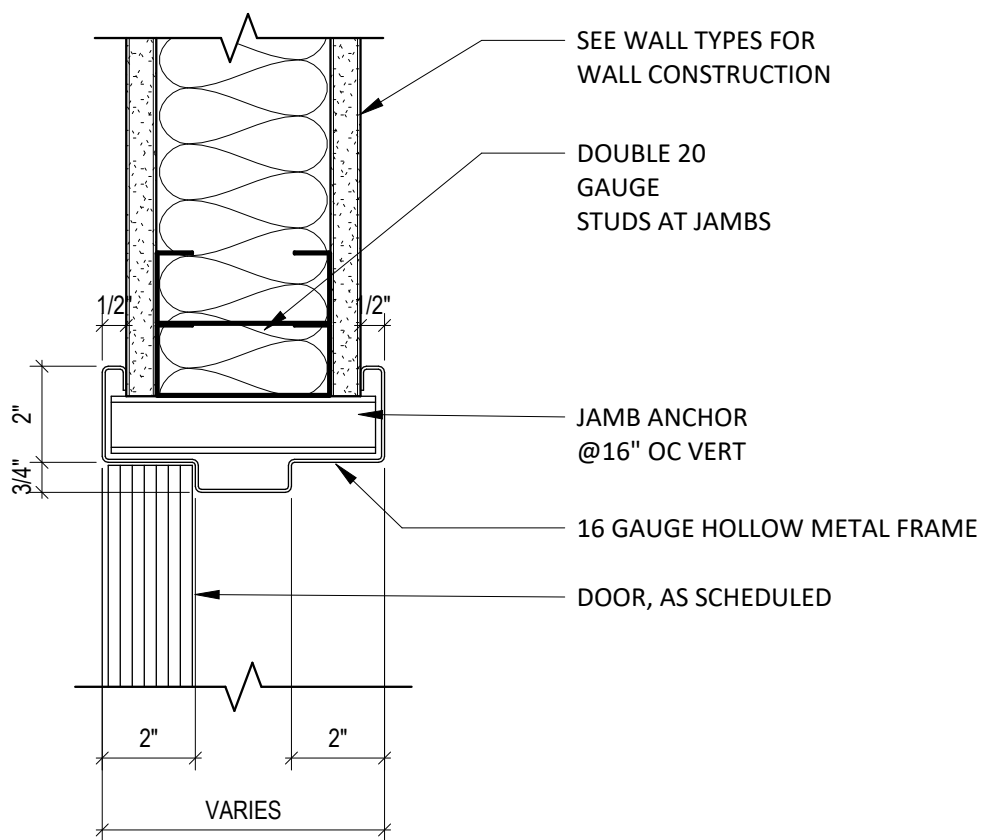
DOOR TYPES
1/4" = 1'-0"



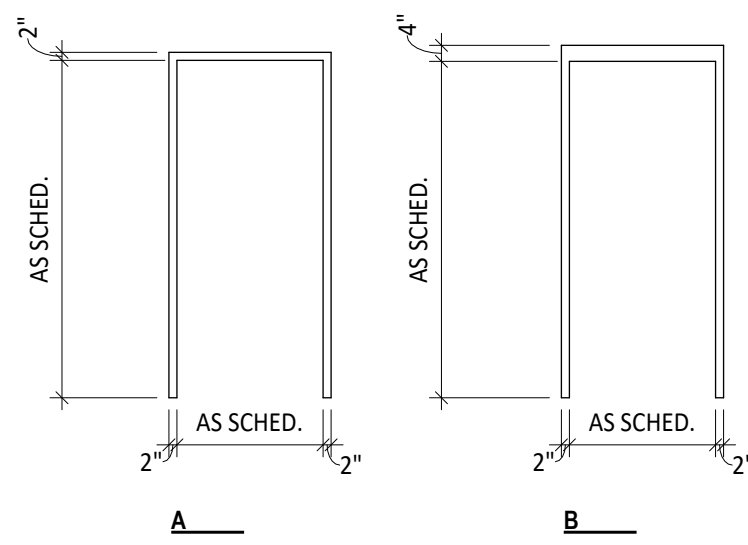
5 JAMB @ HM FRAME
3" = 1'-0"



4 JAMB @ HM FRAME
3" = 1'-0"



1 JAMB @ HM FRAME
3" = 1'-0"



FRAME TYPES
1/4" = 1'-0"

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West Hartford, CT 06107

Seal

progress print
NOT FOR CONSTRUCTION
3/12/2026 5:23:47 PM

Revisions

Issue Record

ISSUED FOR OWNER REVIEW 03.09.26

Drawing Information

Date	03.09.26
Job Number	YST.001
Scale	As indicated
Drawn	DD
Checked	JS

Drawing Name

DOOR, FRAME AND
HARDWARE SCHEDULE

Drawing Number

A-600