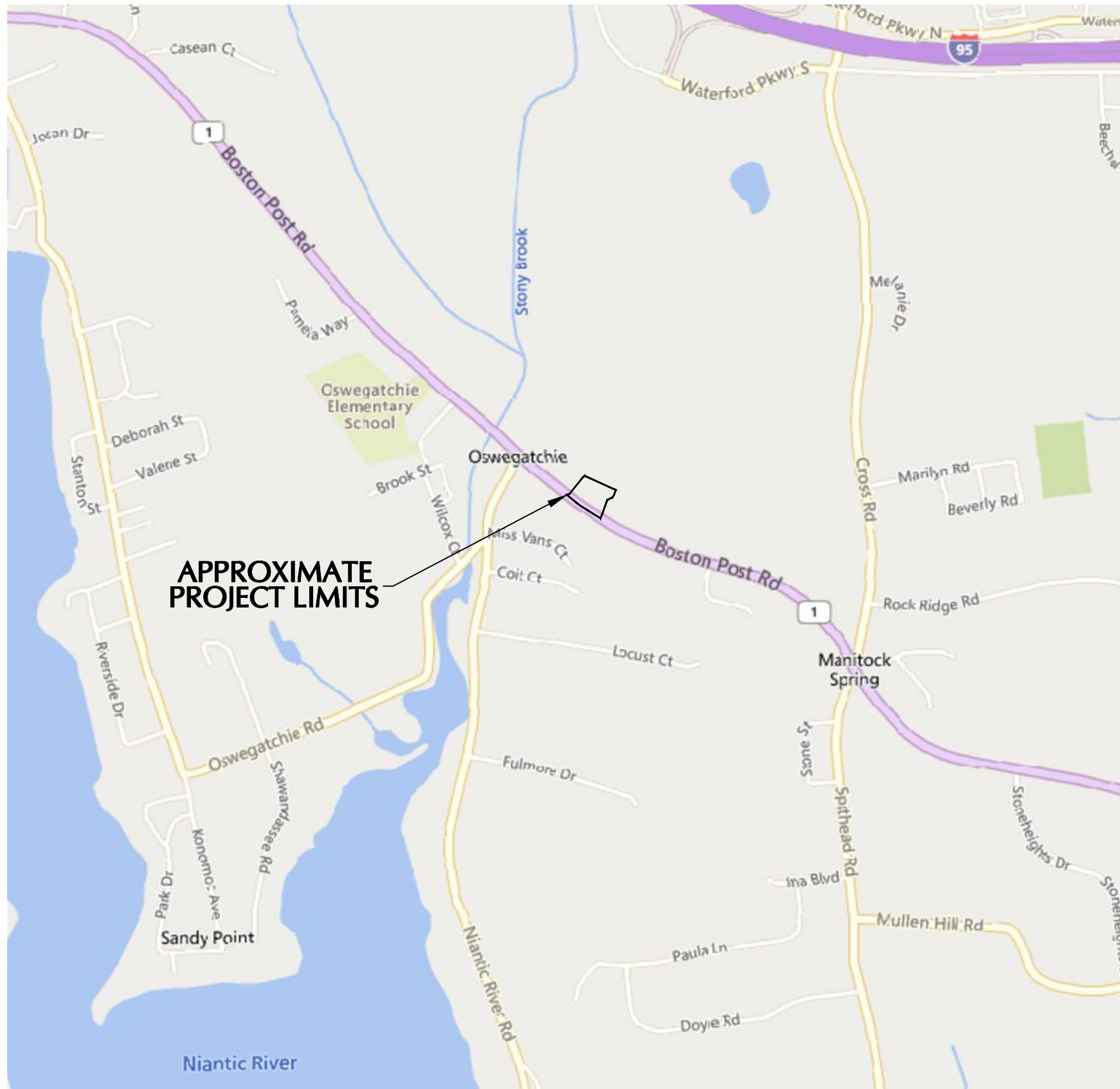


OSWEGATCHIE FIRE STATION  
441 BOSTON POST ROAD  
WATERFORD, CONNECTICUT

SITE PLAN/DESIGN REVIEW/COASTAL SITE PLAN APPLICATION



LOCATION MAP  
SCALE: 1" = 1,000'

OWNER & APPLICANT  
OSWEGATCHIE FIRE COMPANY #4, INC.  
441 BOSTON POST ROAD  
WATERFORD, CT 06385

SURVEYOR, CIVIL ENGINEER &  
LANDSCAPE ARCHITECT  
LANGAN ENGINEERING &  
ENVIRONMENTAL SERVICES, INC  
555 LONG WHARF DRIVE  
NEW HAVEN, CT 06511  
(203) 562-5771

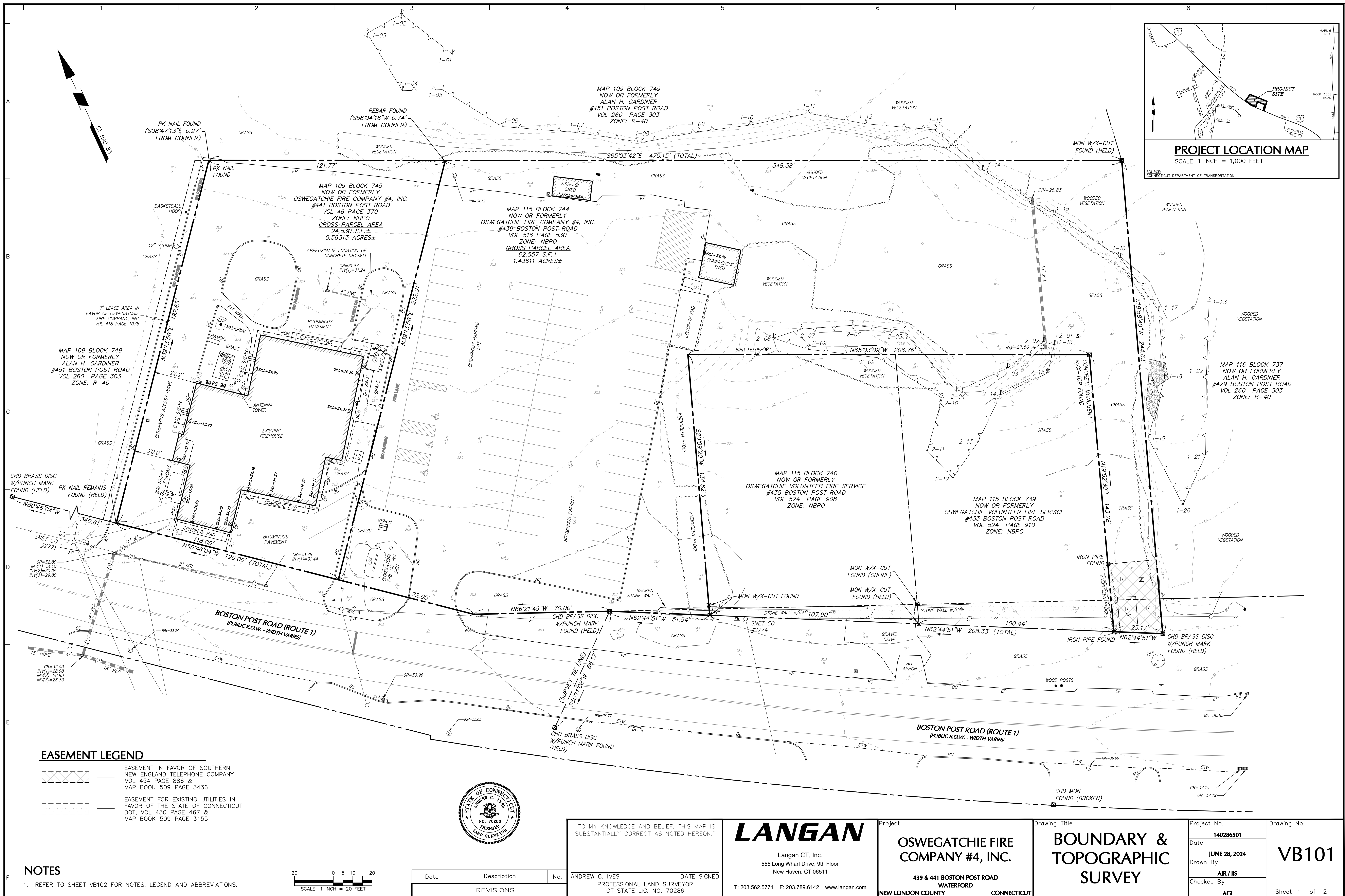
ARCHITECT  
SILVER AND PETRUCELLI & ASSOCIATES  
3190 WHITNEY AVENUE, BUILDING 2  
HAMDEN, CT 06518  
(203) 230-9007

| DRAWING LIST |                                              |           |         |
|--------------|----------------------------------------------|-----------|---------|
| NUMBER       | TITLE                                        | DATE      | REVISED |
| --           | COVER SHEET                                  | 2/7/2025  | -       |
| VB101        | BOUNDARY AND TOPOGRAPHIC SURVEY              | 6/28/2024 | -       |
| VB102        | BOUNDARY AND TOPOGRAPHIC SURVEY              | 6/28/2024 | -       |
| CS101        | SITE PLAN                                    | 2/7/2025  | -       |
| CS501        | SITE DETAILS I                               | 2/7/2025  | -       |
| CS502        | SITE DETAILS II                              | 2/7/2025  | -       |
| CG101        | GRADING, DRAINAGE & UTILITY PLAN             | 2/7/2025  | -       |
| CG501        | GRADING & DRAINAGE DETAILS I                 | 2/7/2025  | -       |
| CU101        | UTILITY PLAN                                 | 2/7/2025  | -       |
| CU501        | UTILITY DETAILS I                            | 2/7/2025  | -       |
| CU501        | UTILITY DETAILS II                           | 2/7/2025  | -       |
| CE101        | EROSION CONTROL/CONSTRUCTION PHASING PLAN I  | 2/7/2025  | -       |
| CE102        | EROSION CONTROL/CONSTRUCTION PHASING PLAN II | 2/7/2025  | -       |
| CE501        | SOIL EROSION & SEDIMENT CONTROL DETAILS      | 2/7/2025  | -       |
| LP101        | PLANTING PLAN                                | 2/7/2025  | -       |
| LP501        | PLANTING DETAILS                             | 2/7/2025  | -       |
| LL101        | LIGHTING PLAN                                | 2/7/2025  | -       |
| LL501        | LIGHTING DETAILS                             | 2/7/2025  | -       |
| A100         | FLOOR PLANS                                  | 1/24/2025 | -       |
| A302         | EXTERIOR ELEVATIONS                          | 1/24/2025 | -       |
| A303         | EXTERIOR ELEVATIONS                          | 1/24/2025 | -       |
| A304         | 3D VIEW                                      | 1/24/2025 | -       |
| A305         | 3D VIEW                                      | 1/24/2025 | -       |

RELEASE DATES

| DATE      | ISSUED FOR                            |
|-----------|---------------------------------------|
| 1/7/2025  | INLAND WETLAND/WATERCOURSE PERMIT APP |
| 1/21/2025 | TOWN CONSERVATION COMMENTS            |
| 2/7/2025  | SITE PLAN/DRB/COASTAL SITE PLAN APP   |
|           |                                       |
|           |                                       |







NOTES

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- a. THIS SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.
2. THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:

A. MAP TITLED "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERFORD BOSTON POST ROAD FROM THE HICKS HILL ROAD WESTERLY ABOUT 5,800 FEET ROUTE U.S.1.", SCALE: 1"=40', DATED: AUG. 29, 1930, LAST REVISED: APRIL 13, 1994, NUMBER 878 SHEET NO. 2 OF 3

B. MAP TITLED "SITE DEVELOPMENT PLAN, ZONING LOCATION SURVEY SHOWING NEW ADDITION 441 BOSTON POST ROAD (US ROUTE 1) WATERFORD, CONNECTICUT, PROPERTY OF OSWEGATCHIE FIRE COMPANY #4, INC., ZONE: NB-PO", SCALE: 1"= 20', DATED: FEBRUARY 1, 2008, BY: JAMES BERNARDO LAND SURVEYING, LLC

C. MAP TITLED "TOWN OF WATERFORD MAP SHOWING LAND RELEASED TO OSWEGATCHIE FIRE COMPANY #4, INC. - BY THE STATE OF CONNECTICUT - BOSTON POST ROAD U.S. RTE. 1", SCALE: 1 INCH = 40 FEET, DATED: 19 OCTOBER 1991, LAST REVISED: 17 MARCH 1992, AS PREPARED BY: CONNECTICUT DEPARTMENT OF TRANSPORTATION

D. MAP TITLED "PLAN SHOWING PROPERTY BELONGING TO OSWEGATCHIE FIRE COMPANY, INC. BOSTON POST ROAD WATERFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOVEMBER 1979, MAP BOOK 509 PAGE 1240

E. MAP TITLED "TOWN OF WATERFORD MAP SHOWING LAND RELEASED TO OSWEGATCHIE FIRE COMPANY #4, INC. BY THE STATE OF CONNECTICUT BOSTON POST ROAD U.S. RTE. 1", SCALE: 1"=40', DATED: OCTOBER 1991, LAST REVISED: 3/17/92, TOWN NO. 152, PROJECT NO. 152-MISC, SERIAL NO. 86, SHEET 1 OF 1, MAP BOOK 509 PAGE 3155

F. MAP TITLED "DETAILED SITE PLAN, PROPERTY OF OSWEGATCHIE FIRE CO. INC. BOSTON POST ROAD WATERFORD, CONNECTICUT, ZONE: N.B.P.O.", SCALE: 1"=20', DATED: JULY 19, 1993, LAST REVISED: MAY 2, 1994, BY: WILLIAM F. KENT, P.L.S., MAP BOOK 509 PAGE 3166

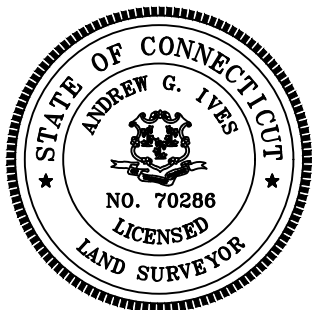
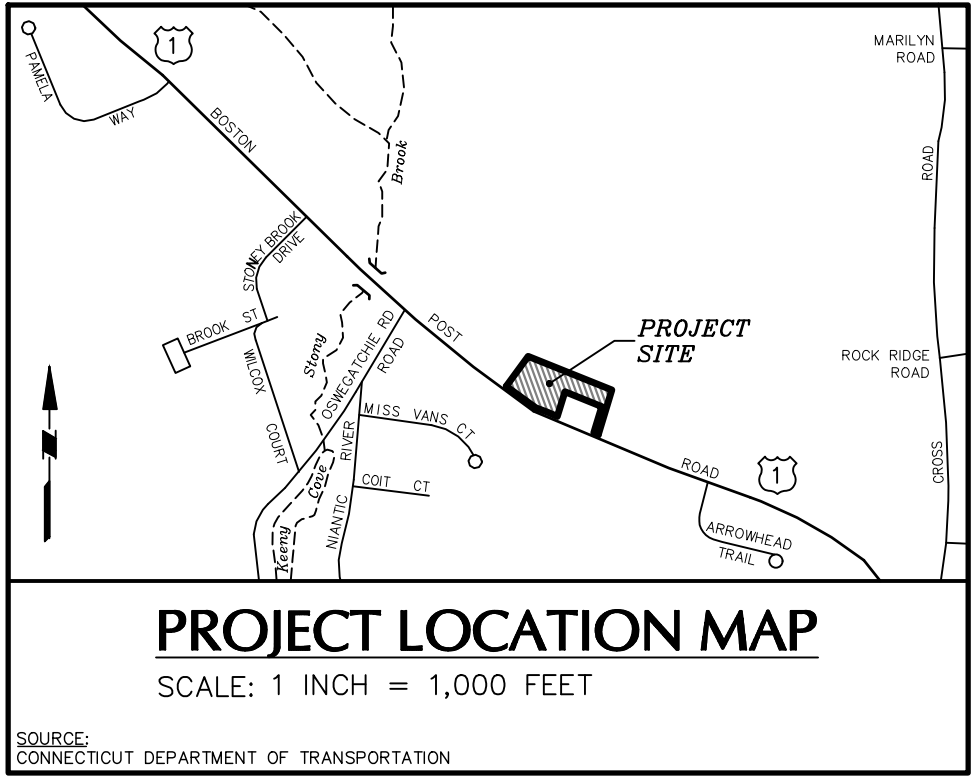
G. MAP TITLED "EASEMENT PLAN SHOWING EASEMENT TO BE GRANTED TO THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY ON THE PROPERTY OF OSWEGATCHIE FIRE CO. #4, INC. BOSTON POST ROAD - U.S. ROUTE #1 WATERFORD, CONNECTICUT", SCALE: 1"=10', DATED: OCTOBER 20, 1995, BY: ANGUS MCDONALD/GARY SHARPE & ASSOCIATES, INC., MAP BOOK 509 PAGE 3436

H. MAP TITLED "BOUNDARY SURVEY MAP PROPERTY OF OSWEGATCHIE FIRE COMPANY #4, INC. #433-441 BOSTON POST ROAD (U.S. ROUTE #1) WATERFORD, CONNECTICUT", SCALE: 1"=20', DATED: SEPTEMBER 24, 2000, LAST REVISED: 10/8/00, BY: JAMES BERNARDO, LLS, MAP BOOK 509 PAGE 4256

3. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).
4. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 18) AS DETERMINED BY GNSS
5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF JUNE 2024.
6. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "NEW LONDON COUNTY, CONNECTICUT PANEL 481 OF 554 MAP NUMBER 09011C0481J, EFFECTIVE DATE AUGUST 5, 2013" THE PROJECT AREA IS IN ZONE X (UNSHADED).
7. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC ). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
8. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
9. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
10. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
11. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
12. WETLANDS DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION THE WEEK OF JUNE 2024. ALL FLAGS WERE FIELD LOCATED ON JUNE 20, 2024.
13. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

LEGEND (NOT SHOWN TO SCALE)

|  |                           |  |      |  |                                                                        |
|--|---------------------------|--|------|--|------------------------------------------------------------------------|
|  | AIR CONDITIONING UNIT     |  | BIT  |  | BITUMINOUS                                                             |
|  | BOLLARD                   |  | CONC |  | CONCRETE                                                               |
|  | BORING HOLE               |  | CP   |  | CONCRETE PAD                                                           |
|  | COLUMN                    |  | LSA  |  | LANDSCAPED AREA                                                        |
|  | DOOR                      |  | BW   |  | BOTTOM OF WALL                                                         |
|  | DOUBLE DOOR               |  | BOH  |  | BUILDING OVERHANG                                                      |
|  | FLAG POLE                 |  | EP   |  | EDGE OF PAVEMENT                                                       |
|  | HANDICAP SYMBOL           |  | EG   |  | EDGE OF GRAVEL                                                         |
|  | MAILBOX                   |  | EW   |  | EDGE OF WALK                                                           |
|  | MONITORING WELL           |  | DW   |  | DETECTABLE WARNING                                                     |
|  | PARKING METER             |  | BC   |  | BITUMINOUS CURB                                                        |
|  | ROOF VENT                 |  | CC   |  | CONCRETE CURB                                                          |
|  | SIGN                      |  | GC   |  | GRANITE CURB                                                           |
|  | SHRUB                     |  | SG   |  | SLOPED GRANITE CURB                                                    |
|  | ROOF FAN                  |  | SWS  |  | SINGLE WHITE STRIPE                                                    |
|  | TEST PIT                  |  | BWS  |  | BROKEN WHITE STRIPE                                                    |
|  | TREE                      |  | SYS  |  | SINGLE YELLOW STRIPE                                                   |
|  | WETLAND FLAG              |  | DYS  |  | DOUBLE YELLOW STRIPE                                                   |
|  | GROUND LIGHT              |  |      |  | METAL GUARD RAIL                                                       |
|  | CABLE BOX HAND HOLE       |  |      |  | WOOD GUARD RAIL                                                        |
|  | CATCH BASIN               |  |      |  | STOCKADE FENCE                                                         |
|  | CLEANOUT                  |  |      |  | CHAINLINK FENCE                                                        |
|  | ELECTRIC BOX              |  |      |  | IRON FENCE                                                             |
|  | ELECTRIC METER            |  |      |  | TREE LINE                                                              |
|  | FILLER VALVE              |  |      |  | OVERHEAD WIRE                                                          |
|  | FIRE HYDRANT              |  |      |  | WETLAND LINE                                                           |
|  | FLARED END SECTION        |  |      |  | EASEMENT LINE                                                          |
|  | FUEL PUMP                 |  |      |  | PROPERTY LINE                                                          |
|  | GAS METER                 |  |      |  | RIGHT-OF-WAY LINE                                                      |
|  | GAS VALVE                 |  |      |  | CONTOUR LINE                                                           |
|  | GUY POLE                  |  |      |  | SANITARY FORCE MAIN                                                    |
|  | GUY WIRE                  |  |      |  | CABLE TV MARK OUT LINE                                                 |
|  | HAND HOLE                 |  |      |  | DRAINAGE MARK OUT LINE                                                 |
|  | LIGHT POLE                |  |      |  | ELECTRIC MARK OUT LINE                                                 |
|  | MANHOLE (TYPE AS LABELED) |  |      |  | COMMUNICATION MARK OUT LINE                                            |
|  | POST INDICATOR VALVE      |  |      |  | GAS MARK OUT LINE                                                      |
|  | POWER POLE                |  |      |  | SANITARY SEWER MARK OUT LINE                                           |
|  | ROOF DRAIN                |  |      |  | WATER MARK OUT LINE                                                    |
|  | SATELLITE DISH            |  |      |  | STEAM MARK OUT LINE                                                    |
|  | SPRINKLER HEAD            |  |      |  | UNKNOWN MARK OUT LINE                                                  |
|  | STANDPIPE                 |  |      |  | REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING |
|  | TELEPHONE BOOTH           |  |      |  |                                                                        |
|  | TELEPHONE BOX             |  |      |  |                                                                        |
|  | TRAFFIC BOX               |  |      |  |                                                                        |
|  | TRAFFIC SIGNAL            |  |      |  |                                                                        |
|  | TRAFFIC SIGNAL ARM        |  |      |  |                                                                        |
|  | TRAFFIC SIGNAL POLE       |  |      |  |                                                                        |
|  | UNDERGROUND VAULT         |  |      |  |                                                                        |
|  | VALVE UNKNOWN             |  |      |  |                                                                        |
|  | WATER METER               |  |      |  |                                                                        |
|  | WATER VALVE               |  |      |  |                                                                        |
|  | SPOT ELEVATION            |  |      |  |                                                                        |



| Date      | Description | No. |
|-----------|-------------|-----|
| REVISIONS |             |     |

|                                                                                  |             |
|----------------------------------------------------------------------------------|-------------|
| "TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON." |             |
| ANDREW G. IVES                                                                   | DATE SIGNED |
| PROFESSIONAL LAND SURVEYOR<br>CT STATE LIC. NO. 70286                            |             |

**LANGAN**

Langan CT, Inc.  
555 Long Wharf Drive, 9th Floor  
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project

**OSWEGATCHIE FIRE COMPANY #4, INC.**

439 & 441 BOSTON POST ROAD  
WATERFORD  
NEW LONDON COUNTY CONNECTICUT

Drawing Title

**BOUNDARY & TOPOGRAPHIC SURVEY**

|              |               |       |
|--------------|---------------|-------|
| Project No.  | 140286501     | VB102 |
| Date         | JUNE 28, 2024 |       |
| Drawn By     | AJR / JJS     |       |
| Checked By   | ACI           |       |
| Sheet 2 of 2 |               |       |



## GENERAL NOTES

- EXISTING INFORMATION OBTAINED FROM THE FOLLOWING "BOUNDARY AND TOPOGRAPHIC SURVEY", 439 & 441 BOSTON POST ROAD, WATERFORD, CT, DATED JUNE 28, 2024.
- PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM SILVER PETRUCELLI ARCHITECTURE IN DECEMBER 2024.
- THE SITE IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP 09011C0481J, EFFECTIVE AUGUST 5, 2013. ZONE X IS AN AREA OF MINIMAL FLOOD HAZARD WITH NO BASE FLOOD ELEVATIONS.

## SIGN LEGEND



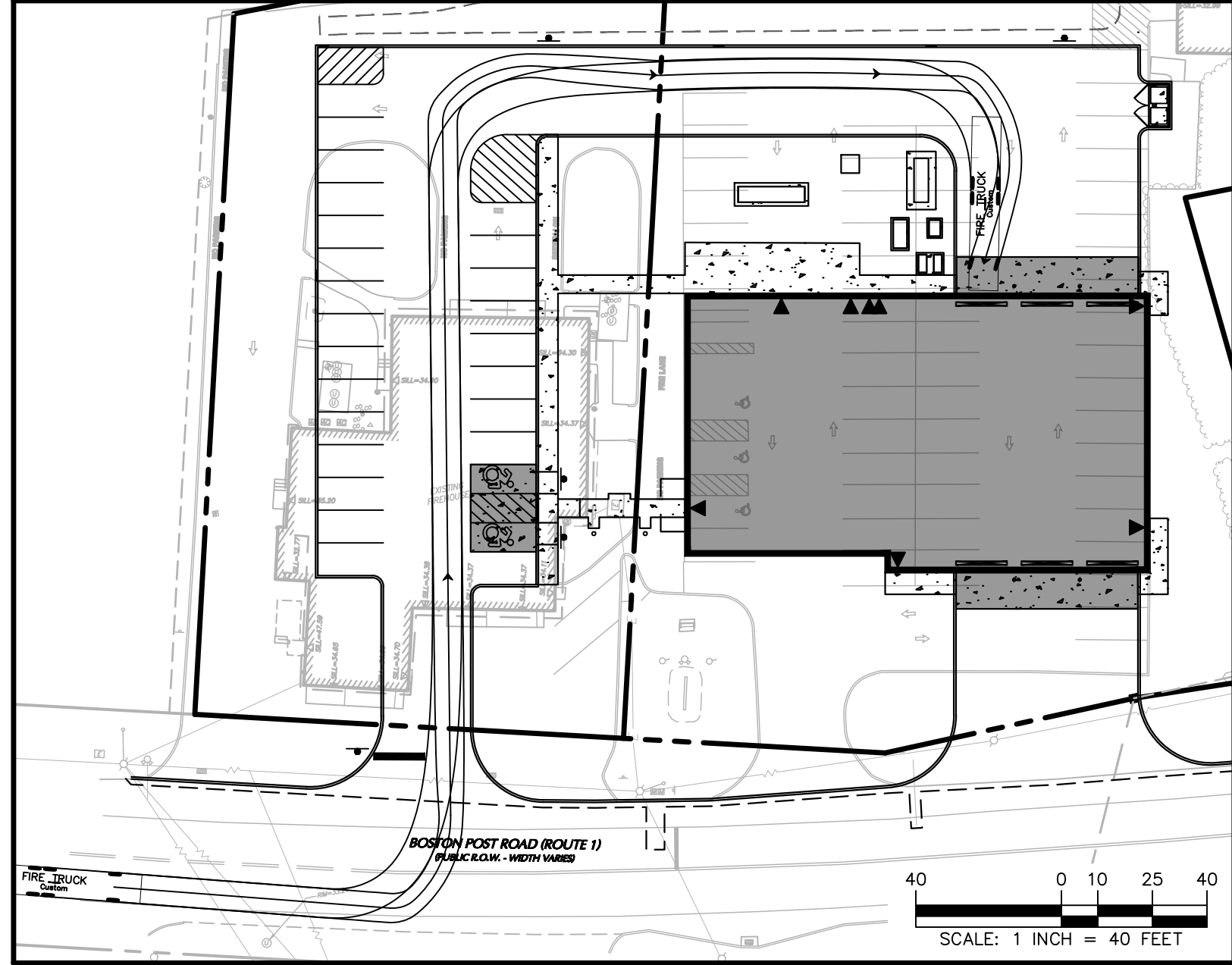
## LEGEND

|                       | EXISTING | PROPOSED |
|-----------------------|----------|----------|
| PROPERTY LINE         | ---      | ---      |
| BUILDING LINE         | ---      | ---      |
| SETBACK LINE          | ---      | ---      |
| BUILDING DOOR         | ---      | ---      |
| CURB LINE             | ---      | ---      |
| FLUSH CURB LINE       | ---      | ---      |
| CONCRETE              | ---      | ---      |
| SITE SIGN             | ---      | ---      |
| POTENTIAL RAIN GARDEN | ---      | ---      |

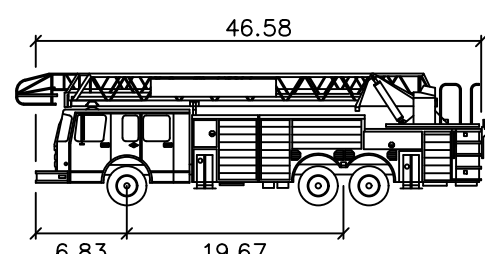
## ZONING CHART

| REFERENCE: TOWN OF WATERFORD CT ZONING REGULATIONS (AMENDED EFFECTIVE OCTOBER 4, 2024) |                                                                            |           |                                |
|----------------------------------------------------------------------------------------|----------------------------------------------------------------------------|-----------|--------------------------------|
| ZONE: NBPO - NEIGHBORHOOD BUSINESS PROFESSIONAL OFFICE DISTRICT                        |                                                                            |           |                                |
| PROPOSED USE: MUNICIPAL FACILITY                                                       |                                                                            |           |                                |
| ITEM                                                                                   | REQUIRED                                                                   | PROPOSED  | SECTION                        |
| MAXIMUM BUILDING HEIGHT                                                                | 35 FT                                                                      | <35 FT    | SECTION 7A.7                   |
| MINIMUM LOT FRONTAGE                                                                   | 100 FT                                                                     | 311 FT    | SECTION 7A.4                   |
| MINIMUM SETBACK, FRONT YARD                                                            | 25 FT                                                                      | 33.5 FT   | SECTION 7A.5.1                 |
| MINIMUM SETBACK, SIDE YARD                                                             | 15 FT                                                                      | 16.4 FT   | SECTION 7A.5.2                 |
| MINIMUM SETBACK, REAR YARD                                                             | 50 FT                                                                      | 99.3 FT   | SECTION 7A.5.3                 |
| MINIMUM LOT SIZE                                                                       | 20,000 SF                                                                  | 87,087 SF | SECTION 2.1                    |
| OFF-STREET PARKING                                                                     | 1 SPACE PER 250 SF (GOVERNMENT OFFICE SPACE)<br>5,274 SF / 250 = 21 SPACES | 26 SPACES | SECTION 7A.8<br>SECTION 20.3.c |
| BUILDING COVERAGE                                                                      | 25%                                                                        | 11%       | SECTION 7A.6                   |

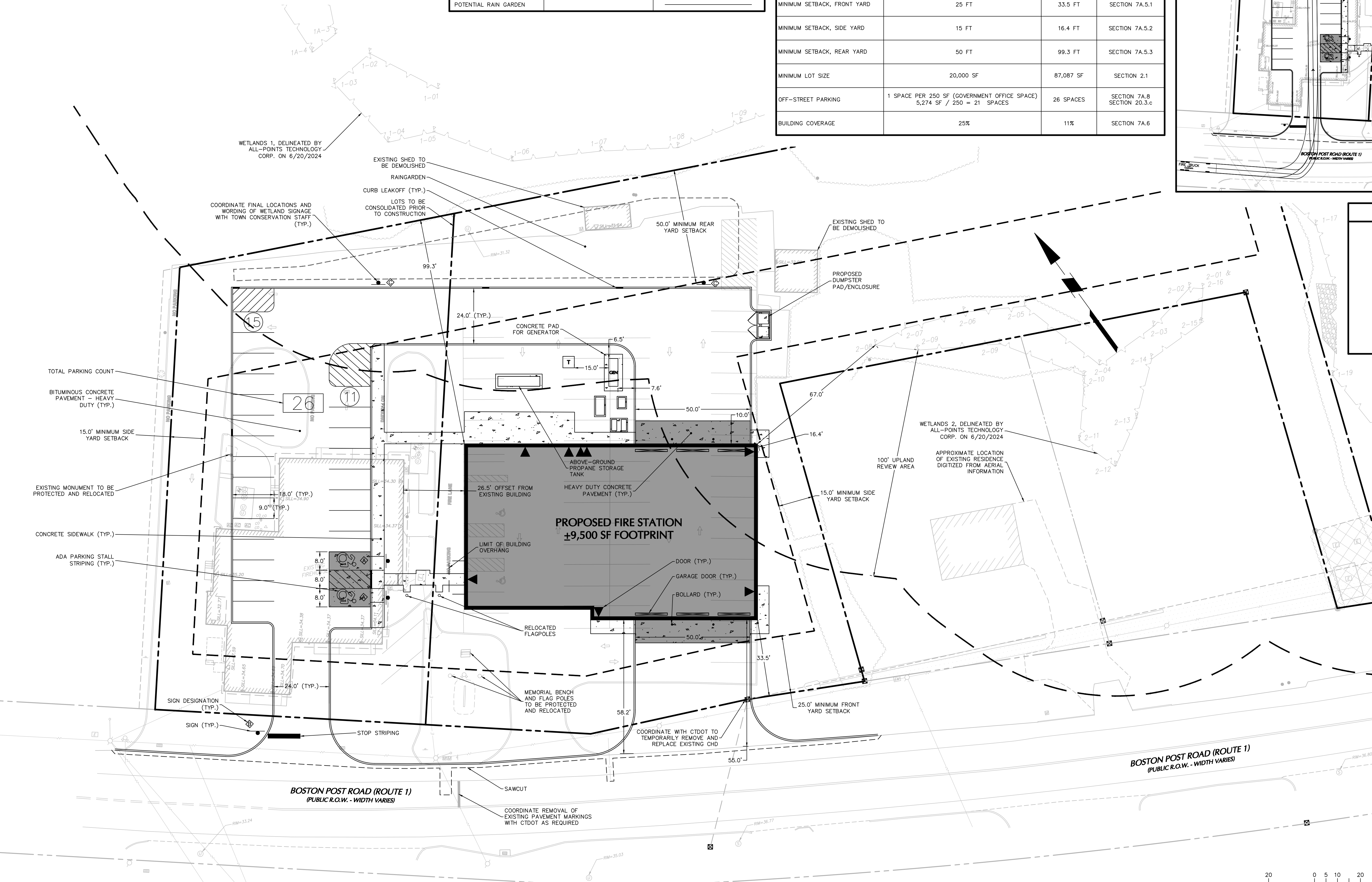
## FIRE TRUCK TURNING MOVEMENT



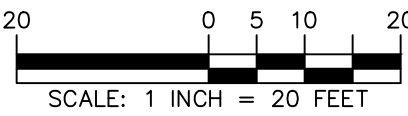
## FIRE TRUCK PROFILE



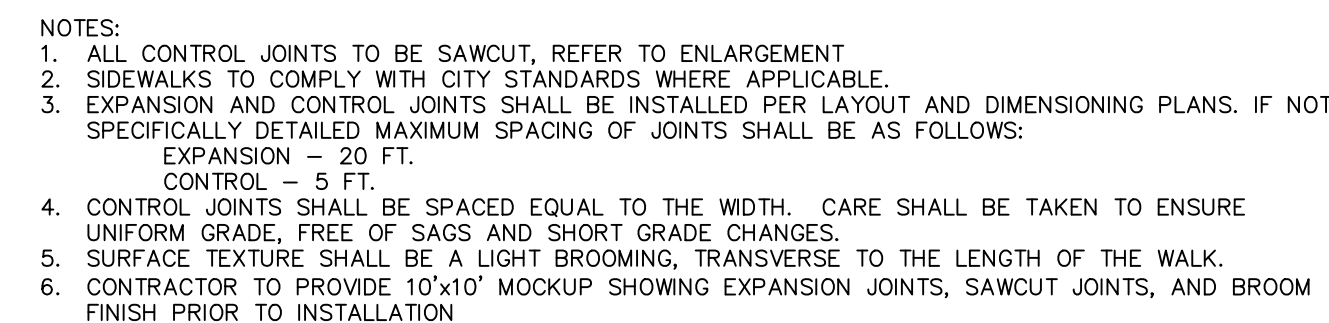
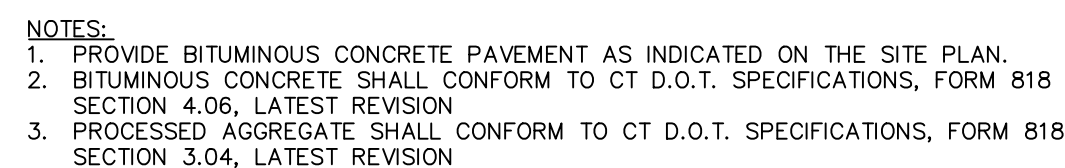
|                   |           |
|-------------------|-----------|
| Fire Truck        |           |
| Width             | 8.50 feet |
| Truck             | 8.42 feet |
| Lock to Lock Time | 6.0       |
| Steering Angle    | 32.9      |



| Date                                                                                                                        | Description                 | No. |
|-----------------------------------------------------------------------------------------------------------------------------|-----------------------------|-----|
| Revisions                                                                                                                   |                             |     |
|                                        |                             |     |
| <b>LANGAN</b>                                                                                                               |                             |     |
| Langan CT, Inc.<br>555 Long Wharf Drive, 9th Floor<br>New Haven, CT 06511<br>T: 203.562.5771 F: 203.789.6142 www.langan.com |                             |     |
| Project<br><b>OSWEGATCHIE FIRE STATION</b>                                                                                  |                             |     |
| WATERFORD CONNECTICUT<br>Drawing Title<br><b>SITE PLAN</b>                                                                  |                             |     |
| Project No.<br><b>140286501</b>                                                                                             | Drawing No.<br><b>CS101</b> |     |
| Date<br><b>2/7/2025</b>                                                                                                     | Drawn By<br><b>APF</b>      |     |
| Checked By<br><b>BP</b>                                                                                                     | Sheet <b>1</b> of <b>15</b> |     |







N.T.S.

N.T.S.



1. PROVIDE EXPANSION JOINT WITH SEALANT WHERE CONCRETE PAVEMENT ABUTS CURBS, WALLS, AND BUILDING FACES. INSTALL EXPANSION JOINTS @  $\pm 20'0"$  O.C. OR AS SHOWN ON DRAWING



1. CURB TO BE PRECAST CONCRETE.
2. STRAIGHT SEGMENTS SHOULD NOT BE INSTALLED ALONG CURVES UNLESS RADIUS IS GREATER THAN 50'.
3. INDIVIDUAL SEGMENTS TO BE GREATEST LENGTH POSSIBLE IN ORDER TO MINIMIZE NUMBER OF JOINTS. CORNERS TO BE SINGLE PIECE.
4. JOINT SEALANT TO BE INSTALLED AT ALL JOINTS BETWEEN CURB SEGMENTS.
5. CONCRETE AGGREGATE SHALL CONFORM TO CT D.O.T. SPECIFICATIONS, FORM 817 SECTION 3.04, LATEST REVISION.
6. CONTRACTOR TO PROVIDE PRODUCT DATA FOR REVIEW PRIOR TO INSTALLATION.



## NTS



- NOTES
1. ALL PAVEMENT MARKINGS TO BE EPOXY RESIN.
  2. CONFIRM ALL PARKING SPACE DIMENSIONS ON PLANS



1. SIGNS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT AND THE MANUAL ON THE UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN 5 DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT APPLY SECOND COAT JUST PRIOR TO BUILDING OPENING.



- NOTES:**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE STANDARD MANUAL ON UNIFORM PRACTICE CONTROL DEVICES FOR STREETS AND HIGHWAYS."
  2. ALL POSTS SHALL BE EMBEDDED 3'-6" MINIMUM BELOW GRADE.
  3. STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR EQUIVALENT).
  4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES, AND TRAFFIC SIGNALS."
  5. PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
  6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT, BUT SHALL ENGAGE ALL THREADS IN THE NUT.

## N.T.S.

N.T.S.



## Revisions



Langan CT, Inc.

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Project

OSWEGATCHIE FIRE  
STATION

|                  |                    |
|------------------|--------------------|
| <b>WATERFORD</b> | <b>CONNECTICUT</b> |
| Drawing Title    |                    |

Drawing Title

## SITE DETAILS I

Project No. \_\_\_\_\_

140286501

Date

2/7/2

Drawn By

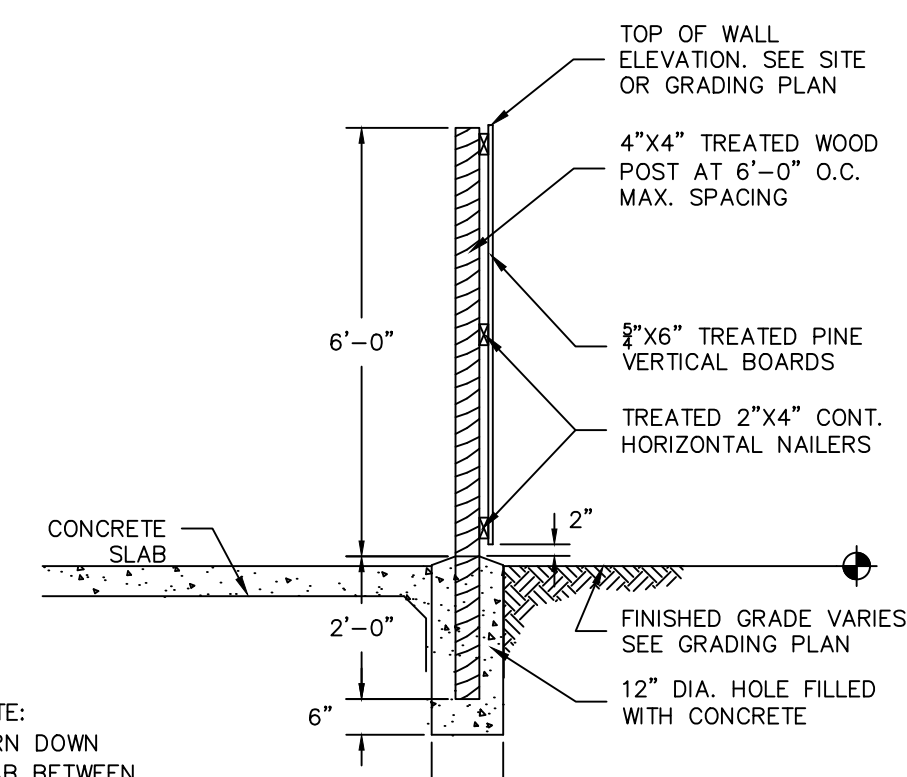
Al

Drawing No.

# CS501

Sheet **2** of **15**

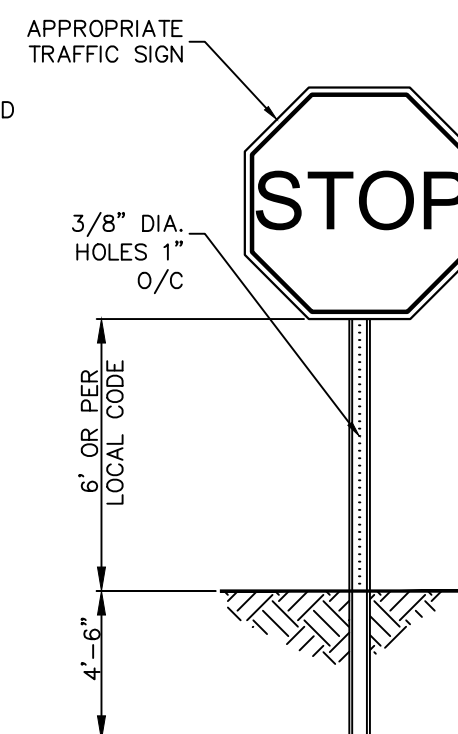




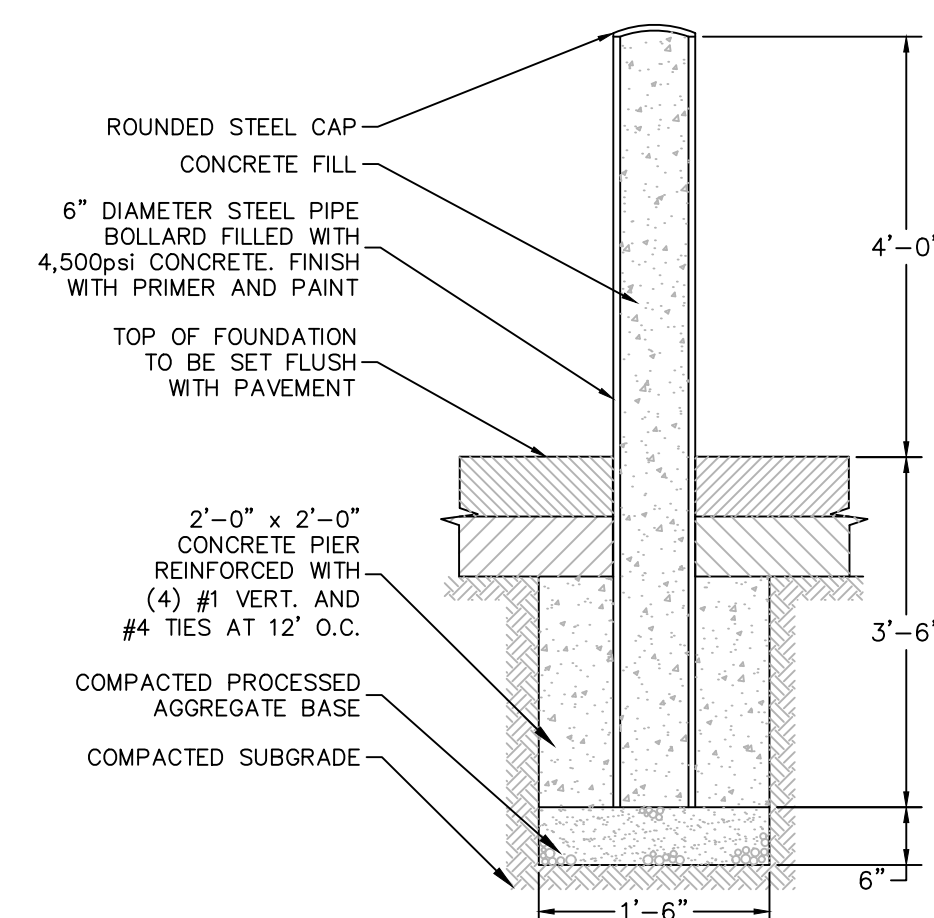
NOTE: CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION

2 DUMPSTER ENCLOSURE

N.T.S



N.T.S.



NOTES:

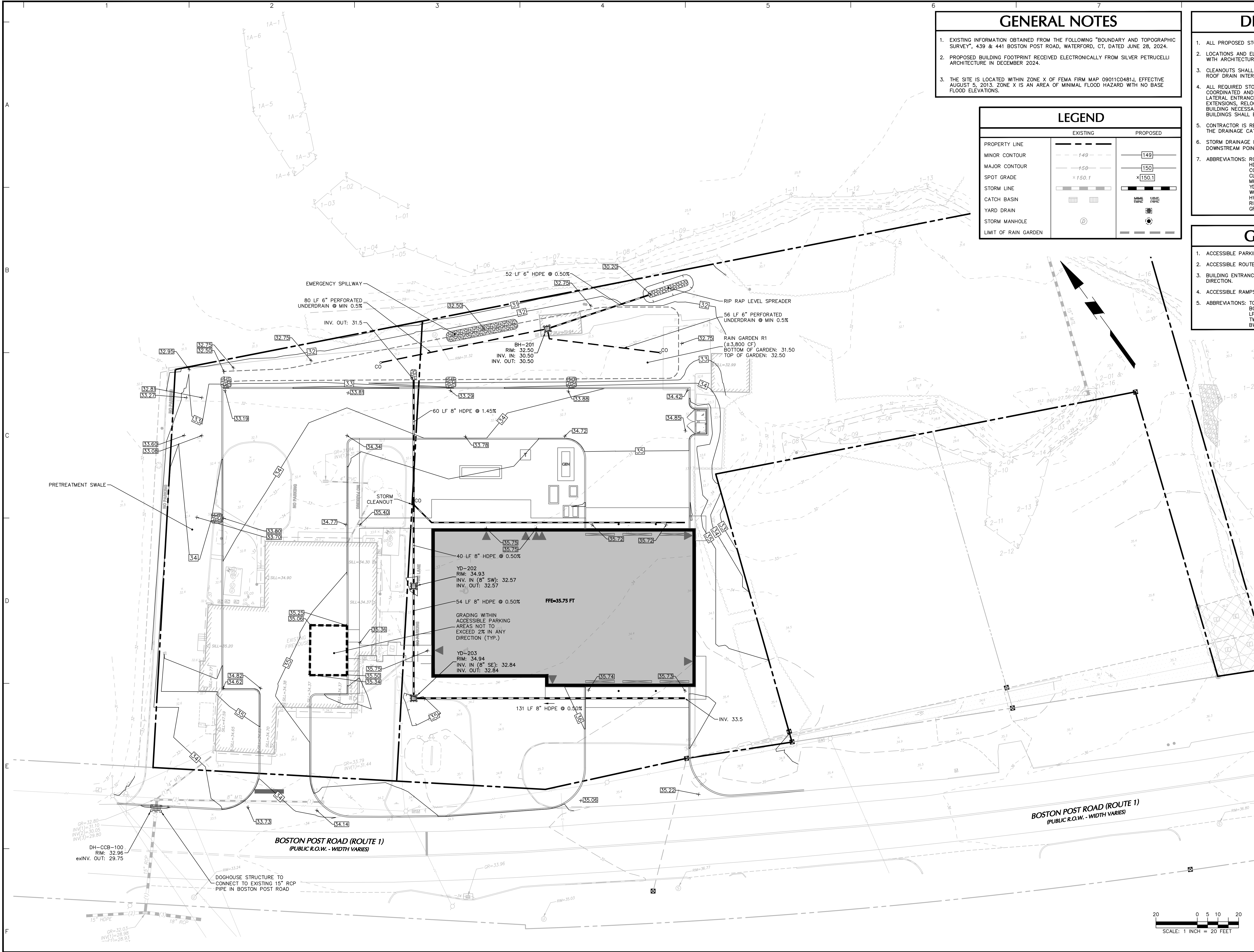
1. PAINT PRIME AND FINISH COATS TO BE COMPATIBLE WITH EXTERIOR METAL SURFACES. COLORS TO BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.

 **BOLLARD**

N.T.S.

Date: 2/5/2025 Time: 12:27 User: afay Style Table: | annap sth | layout: | layout1 Document Code: 140286501-0502-CS501-0102





GENERAL NOTES

- EXISTING INFORMATION OBTAINED FROM THE FOLLOWING "BOUNDARY AND TOPOGRAPHIC SURVEY", 439 & 441 BOSTON POST ROAD, WATERFORD, CT, DATED JUNE 28, 2024.
- PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM SILVER PETRUCELLI ARCHITECTURE IN DECEMBER 2024.
- THE SITE IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP 09011C0481J, EFFECTIVE AUGUST 5, 2013. ZONE X IS AN AREA OF MINIMAL FLOOD HAZARD WITH NO BASE FLOOD ELEVATIONS.

LEGEND

|                      | EXISTING | PROPOSED |
|----------------------|----------|----------|
| PROPERTY LINE        | ---      | ---      |
| MINOR CONTOUR        | 149      | 149      |
| MAJOR CONTOUR        | 150      | 150      |
| SPOT GRADE           | 150.1    | 150.1    |
| STORM LINE           | ---      | ---      |
| CATCH BASIN          | ---      | ---      |
| YARD DRAIN           | ---      | ---      |
| STORM MANHOLE        | ---      | ---      |
| LIMIT OF RAIN GARDEN | ---      | ---      |

DRAINAGE NOTES

- ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS.
- LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
- ALL REQUIRED STORM LATERALS SERVICING THE BUILDING SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING LATERAL ENTRANCE LOCATION AT THE INVERTS NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF LATERALS TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZES OF THE DRAINAGE CATCH BASINS AND MANHOLES TO RECEIVE PIPING SHOWN.
- STORM DRAINAGE PIPING INSTALLATION SHALL COMMENCE AT THE FURTHEST DOWNSTREAM POINT AND PROCEED UPSTREAM "IN THE DRY".
- ABBREVIATIONS: RCP=REINFORCED CONCRETE PIPE  
HDPE=HIGH DENSITY POLYETHYLENE PIPE  
CCB=CURBED CATCH BASIN  
CLCB=CURBLESS CATCH BASIN  
MH=MANHOLE  
YD=YARD DRAIN  
WQU=WATER QUALITY UNIT  
HW=HEADWALL  
RIM=TOP OF RIM ELEVATION  
GR=TOP OF GRATE ELEVATION

GRADING NOTES

- ACCESSIBLE PARKING AREAS NOT TO EXCEED 2% IN ANY DIRECTION.
- ACCESSIBLE ROUTES NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS-SLOPE.
- BUILDING ENTRANCES AND RAMP LANDINGS NOT TO EXCEED 2% IN ANY DIRECTION.
- ACCESSIBLE RAMPS TO BE CONSTRUCTED PER ADA REQUIREMENTS
- ABBREVIATIONS: TC=TOP OF CURB  
BC=BOTTOM OF CURB  
LP=LOW POINT  
TW=TOP OF WALL  
BW=BOTTOM OF WALL

| Date | Description | No. |
|------|-------------|-----|
|------|-------------|-----|

Revisions



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Project  
OSWEGATCHIE FIRE  
STATION

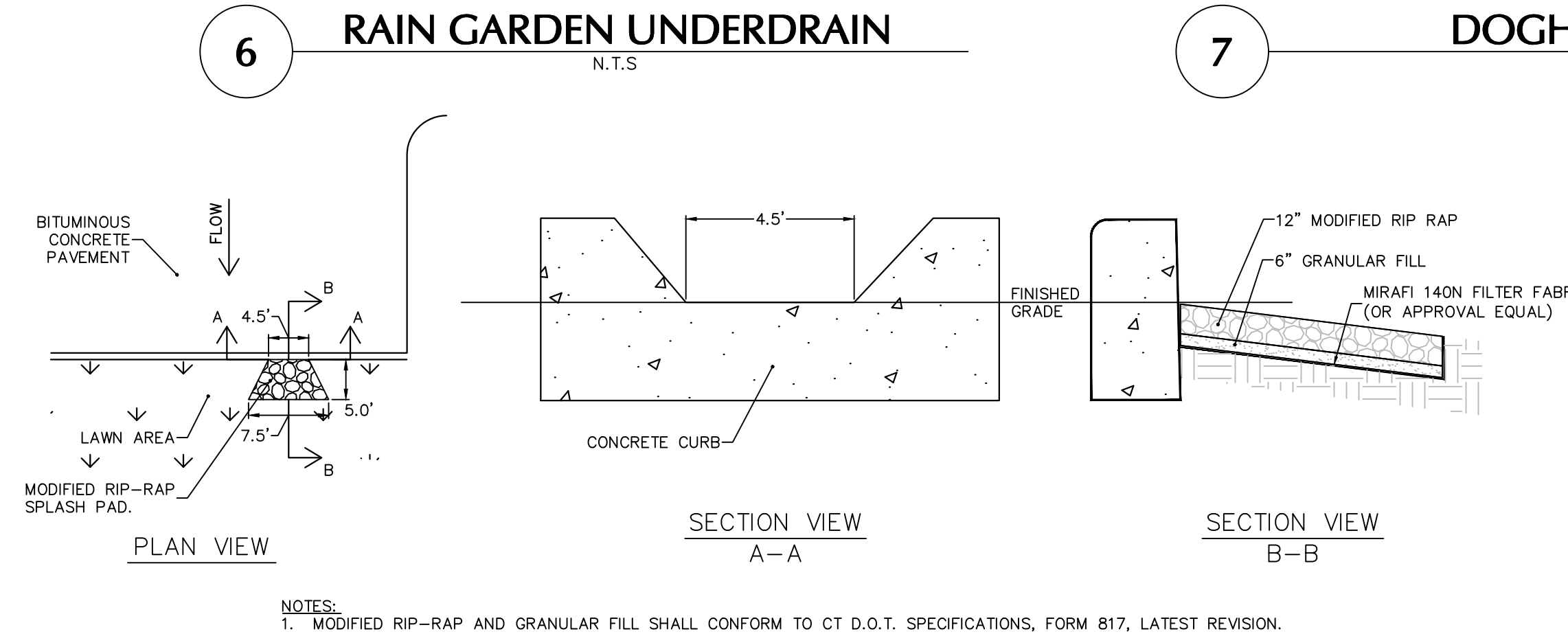
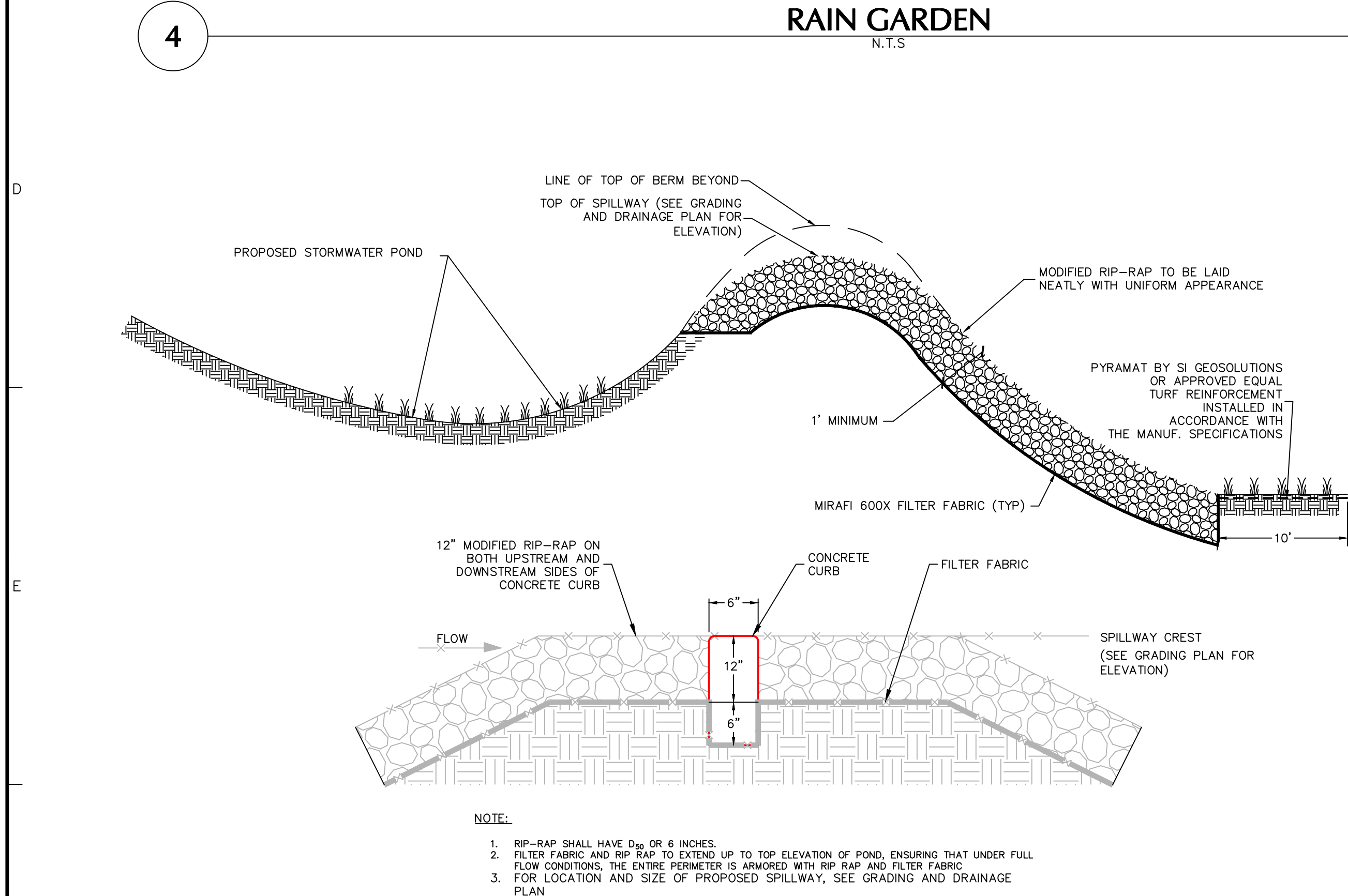
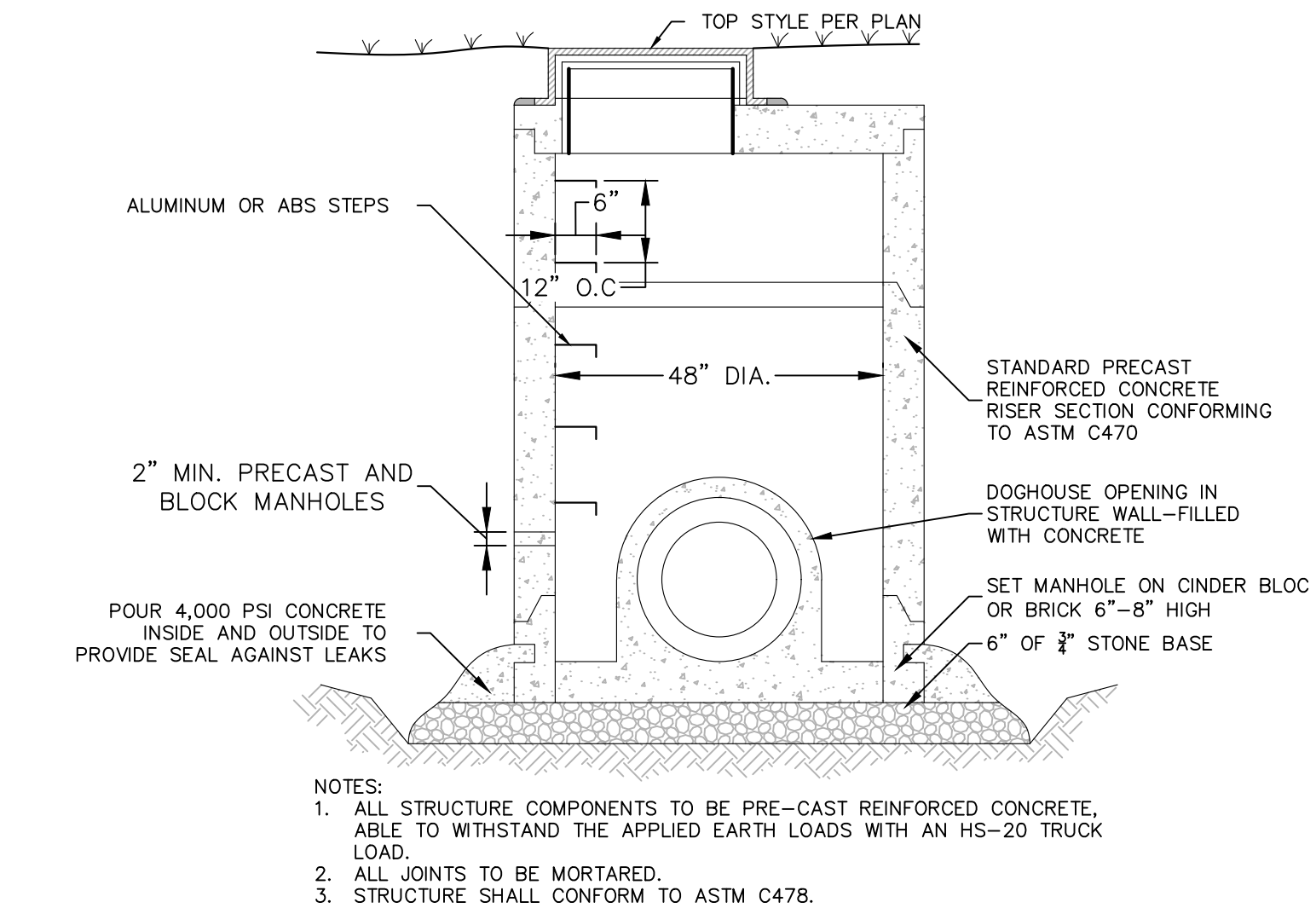
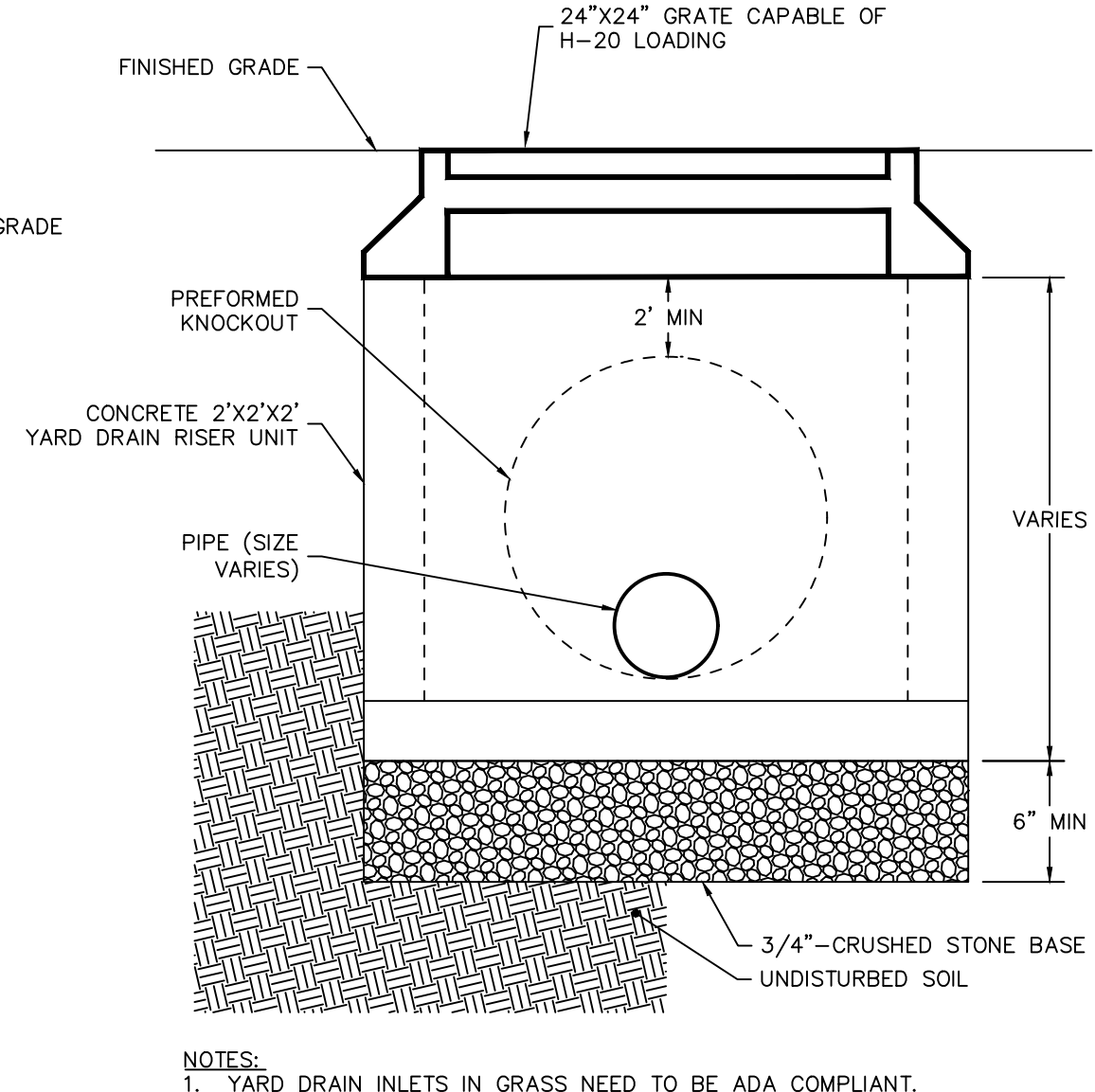
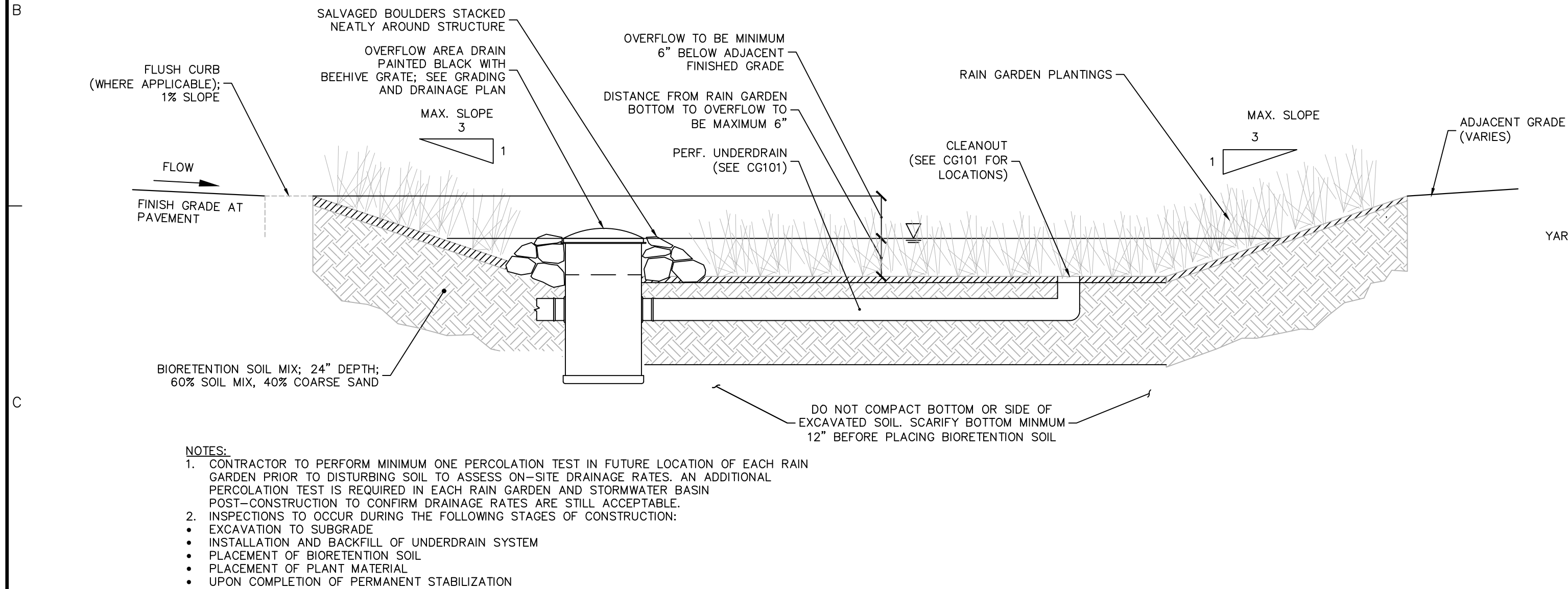
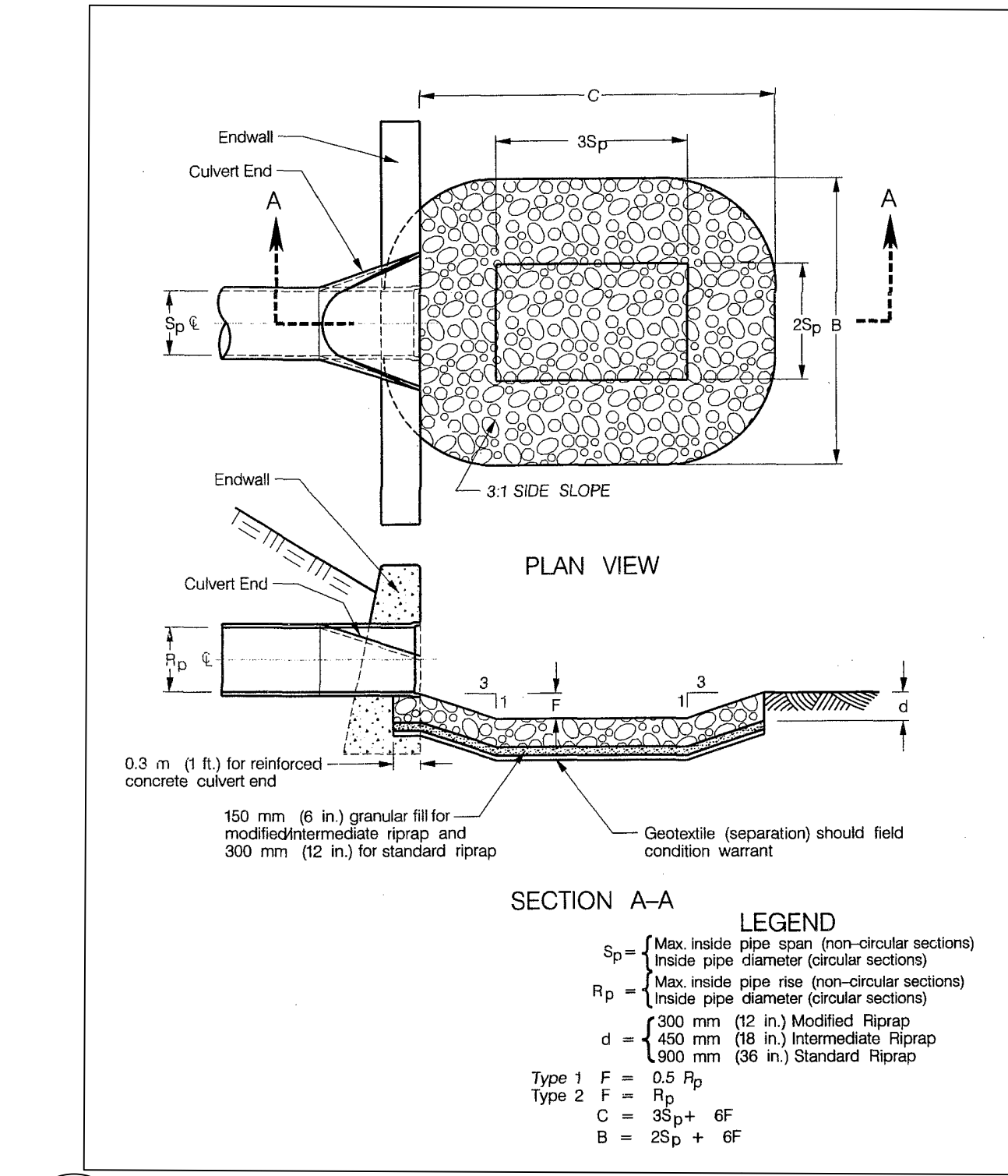
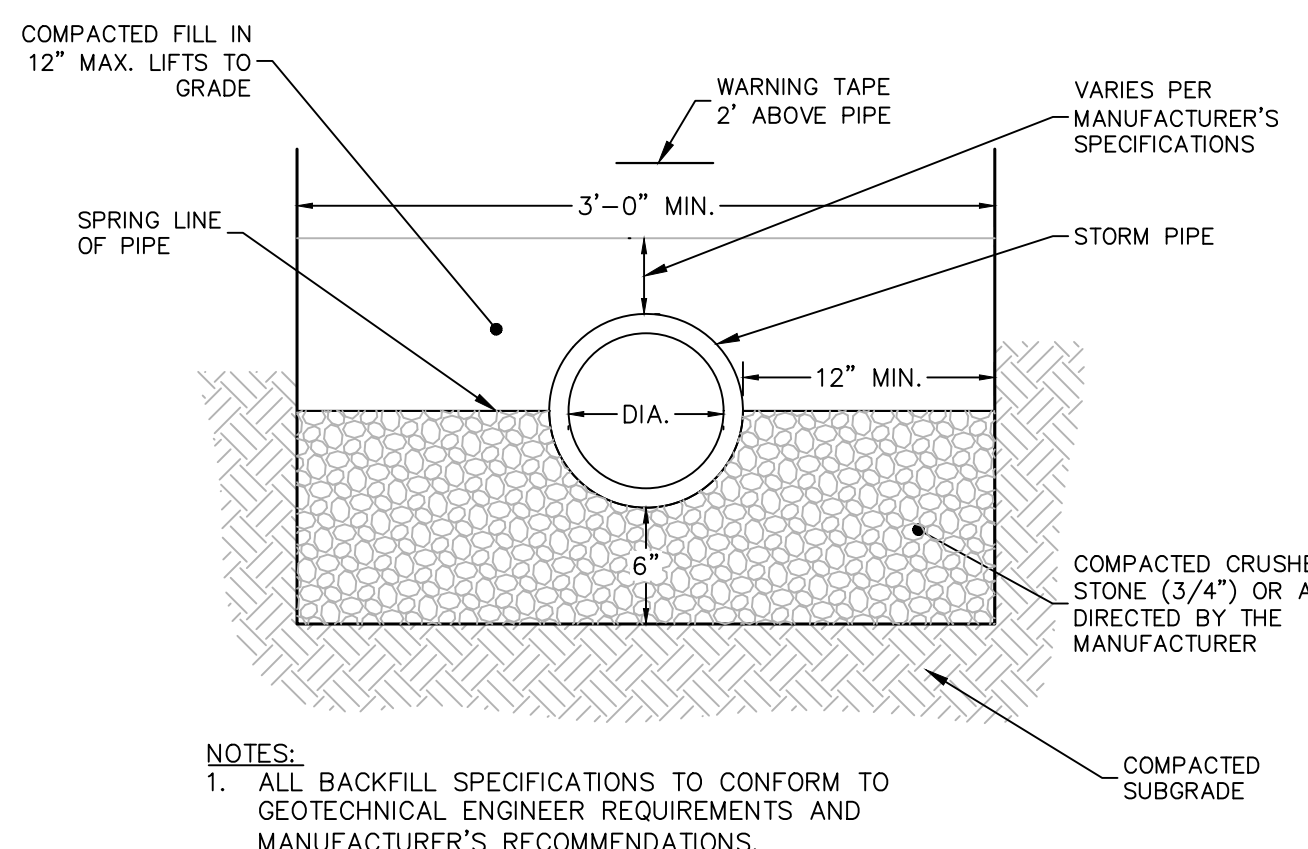
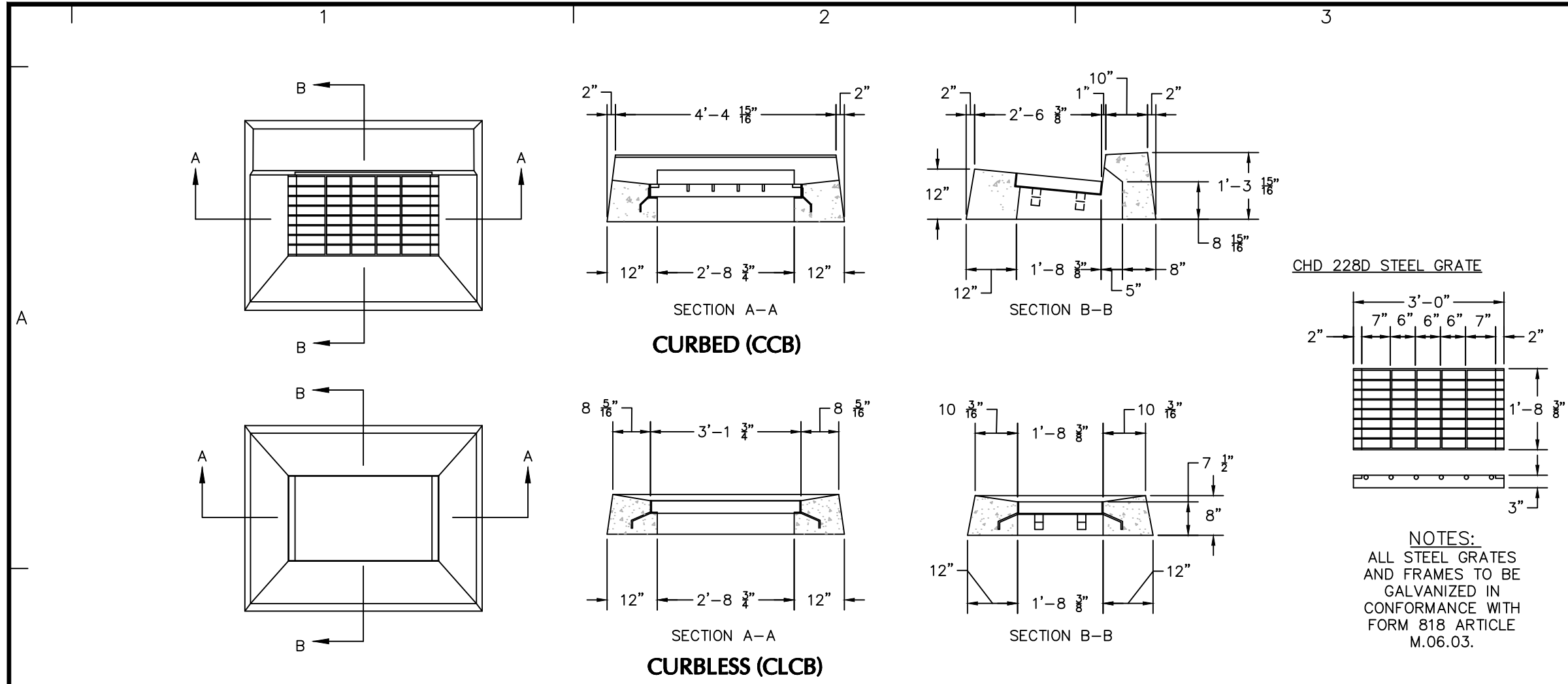
WATERFORD CONNECTICUT  
Drawing Title

GRADING &  
DRAINAGE PLAN

|                          |                      |
|--------------------------|----------------------|
| Project No.<br>140286501 | Drawing No.<br>CG101 |
| Date<br>2/7/2025         |                      |
| Drawn By<br>APF          |                      |
| Checked By<br>BP         |                      |

Sheet 4 of 15





| Date                                                                                                                                         | Description   | No. |
|----------------------------------------------------------------------------------------------------------------------------------------------|---------------|-----|
| Revisions                                                                                                                                    |               |     |
|                                                                                                                                              |               |     |
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| Project<br><b>OSWEGATCHIE FIRE STATION</b>                                                                                                   |               |     |
| <b>WATERFORD CONNECTICUT</b><br>Drawing Title<br><b>GRADING AND DRAINAGE DETAILS</b>                                                         |               |     |
| Project No.                                                                                                                                  | Drawing No.   |     |
| 140286501                                                                                                                                    | CG501         |     |
| Date                                                                                                                                         |               |     |
| 2/7/2025                                                                                                                                     |               |     |
| Drawn By                                                                                                                                     |               |     |
| APF                                                                                                                                          | Sheet 5 of 15 |     |
| Checked By                                                                                                                                   |               |     |
| BP                                                                                                                                           |               |     |



GENERAL NOTES

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TOWN OF WATERFORD UTILITY NOTES

1. A REPRESENTATIVE FROM THE UTILITY COMMISSION SHALL BE PRESENT FOR THE CONNECTION TO THE SEWER SYSTEM. PLEASE GIVE AT LEAST 48 HOURS NOTICE BEFORE CONNECTION.
2. A REPRESENTATIVE FROM THE UTILITY COMMISSION SHALL BE PRESENT FOR THE DISCONNECTION OF THE EXISTING FIRE STATION. PLEASE GIVE AT LEAST 48 HOURS NOTICE BEFORE DISCONNECTION.
3. ALL DESIGN AND CONSTRUCTION OF WATER AND SEWER UTILITIES MUST CONFORM TO THE TOWN OF WATERFORD'S STANDARDS AND SPECIFICATIONS.
4. CONTACT THE CITY OF NEW LONDON FOR INFORMATION REGARDING WATER CONNECTION.

LEGEND

|                             | EXISTING | PROPOSED |
|-----------------------------|----------|----------|
| PROPERTY LINE               | ---      | ---      |
| BUILDING LINE               | ///      | ---      |
| SANITARY LINE               | ---      | ---      |
| SANITARY CLEANOUT           | ---      | OC       |
| ELECTRIC UTILITY LINE       | ---      | UT & UE  |
| DOMESTIC WATER SERVICE LINE | ---      | W        |
| FIRE PROTECTION WATER LINE  | ---      | UFW      |

UTILITY NOTES

GENERAL:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS (WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE), INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO SUBSTANTIALLY DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND REQUIRING MODIFICATIONS TO THE SITE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION. SUBSTANTIALLY DIFFERING UTILITY CONDITIONS THAT ARE ENCOUNTERED BY THE CONTRACTOR, THAT REQUIRE MODIFICATION OF SITE DESIGN AND THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO.
3. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
4. ALL UNDERGROUND UTILITIES MUST BE CLEARLY & PERMANENTLY MARKED WITH UNDERGROUND MARKING TAPE AND AS REQUIRED BY THE APPROPRIATE UTILITY COMPANY.
5. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, ROOF DRAINS, AND ALL OTHER UTILITIES.
6. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
7. ALL MANHOLE COVERS, GRATES, RIMS, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO PROPOSED ELEVATION.
8. CONTRACTOR TO PROVIDE ALL FITTINGS AND BENDS NECESSARY TO ACCOMPLISH WORK.
9. A MINIMUM EIGHTEEN (18) INCHES VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED.
10. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
11. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION. IN THE EVENT THAT PAVEMENT REPAIR CANNOT BE PROVIDED DUE TO WEATHER CONDITIONS, PROVIDE TEMPORARY PAVEMENT REPAIR UNTIL PERMANENT REPAIR CAN BE PROVIDED.
12. ALL UTILITY LINES SHALL BE INSPECTED AND APPROVED PRIOR TO PLACEMENT OF BACKFILL. INSPECTION SHALL OCCUR ONLY WHEN THE LINES ARE FULLY BEDDED IN THE SPECIFIED MATERIAL AND AFTER ANY APPLICABLE TESTS ARE SUCCESSFULLY COMPLETED. INSPECTIONS SHALL BE PERFORMED BY THE APPLICABLE UTILITY PROVIDER, THE A.H.J. AND/OR THE OWNER'S SPECIAL INSPECTOR. IF APPLICABLE, BACKFILLING SHALL BE MONITORED AND TESTED BY THE OWNER'S SPECIAL INSPECTOR.
13. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
14. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
15. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.

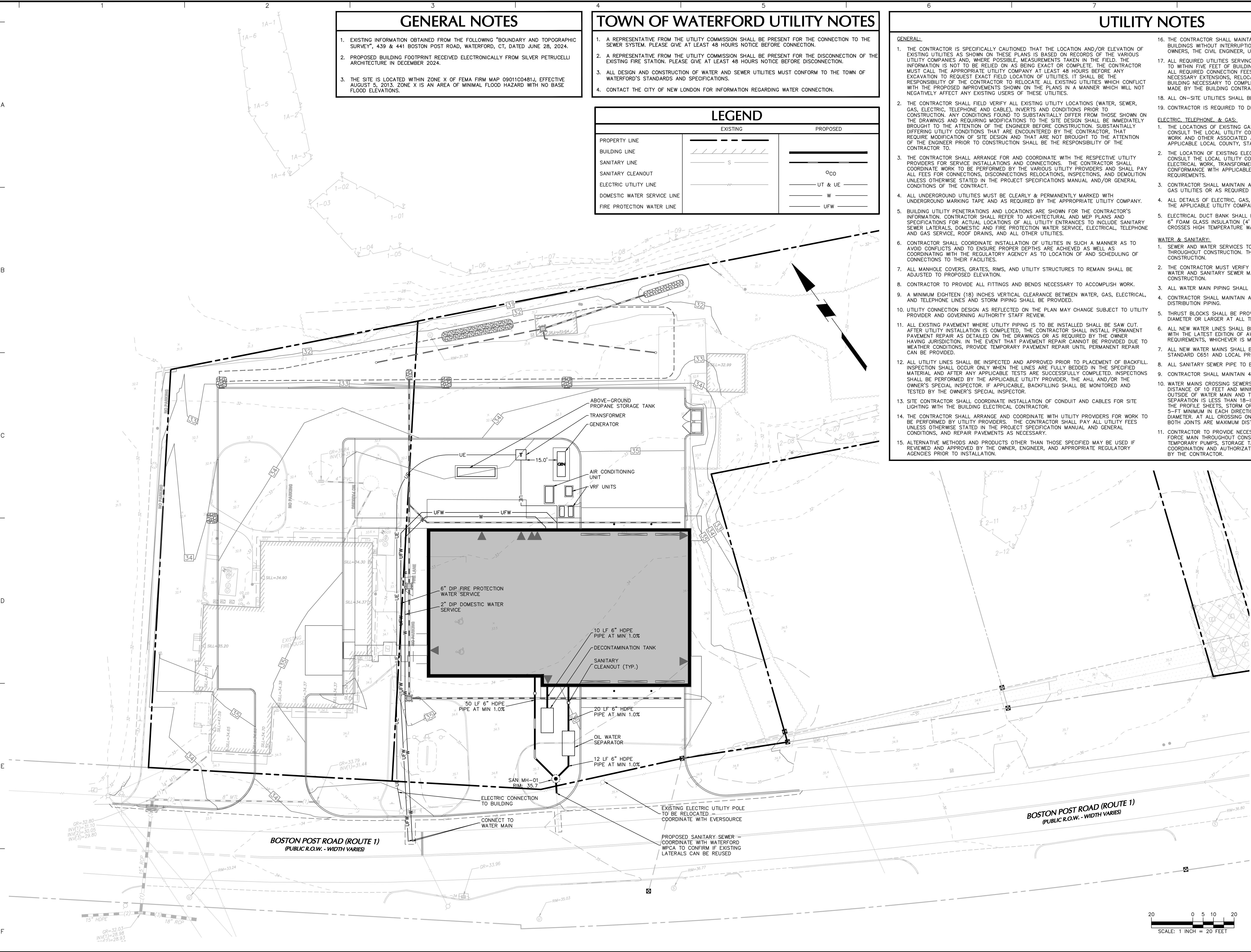
16. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
17. ALL REQUIRED UTILITIES SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF BUILDING UTILITY ENTRANCE LOCATION AT THE INVERTS LOCATED. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
18. ALL ON-SITE UTILITIES SHALL BE UNDERGROUND, WHERE APPLICABLE.
19. CONTRACTOR IS REQUIRED TO DIGITALLY PHOTOGRAPH 75% OF THE UTILITIES INSTALLED.

ELECTRIC, TELEPHONE, & GAS:

1. THE LOCATIONS OF EXISTING GAS MAINS ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED GAS WORK AND OTHER ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
2. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND GAS UTILITIES OR AS REQUIRED BY THE UTILITY COMPANY, WHICHEVER IS MORE RESTRICTIVE.
4. ALL DETAILS OF ELECTRIC, GAS, & TELEPHONE UTILITY SERVICE SHALL BE APPROVED BY THE APPLICABLE UTILITY COMPANY AND INSTALLED TO THEIR REQUIREMENTS.
5. ELECTRICAL DUCT BANK SHALL RUN BELOW GAS LINES. A MINIMUM SEPARATION OF 3' AND 6" FOAM GLASS INSULATION (4' IN BOTH DIRECTIONS) IS REQUIRED WHERE THE DUCT BANK CROSSES HIGH TEMPERATURE WATER LINES.

WATER & SANITARY:

1. SEWER AND WATER SERVICES TO THE EXISTING BUILDINGS SHALL REMAIN CONTINUOUS THROUGHOUT CONSTRUCTION. THESE BUILDINGS WILL BE OCCUPIED THROUGHOUT CONSTRUCTION.
2. THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER AND SANITARY SEWER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
3. ALL WATER MAIN PIPING SHALL BE CLASS 54 DUCTILE IRON PIPE.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER FOR ALL WATER DISTRIBUTION PIPING.
5. THRUST BLOCKS SHALL BE PROVIDED ALONG WATER AND FORCE MAIN LINES 6" IN DIAMETER OR LARGER AT ALL TEES, ELBOWS AND PLUGS.
6. ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600, OR THE REGIONAL WATER AUTHORITY REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
7. ALL NEW WATER MAINS SHALL BE DISINFECTED AND TESTED IN ACCORDANCE WITH AWWA STANDARD C651 AND LOCAL PROVIDER REQUIREMENTS.
8. ALL SANITARY SEWER PIPE TO BE SDR 35 PVC PIPE UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL MAINTAIN 4.5 FEET OF COVER ON ALL SEWER PIPES.
10. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM HORIZONTAL DISTANCE OF 10 FEET AND MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF WATER MAIN AND THE OUTSIDE OF SEWER. IN CASES WHERE THE VERTICAL SEPARATION IS LESS THAN 18-INCHES OR AS OTHERWISE SPECIFIED ON THIS DRAWING OR THE PROFILE SHEETS, STORM OR SANITARY SEWER PIPE SHALL BE ENCASED WITH K-KRETE 5-FT MINIMUM IN EACH DIRECTION OF PIPE RUN AND 6-INCHES MINIMUM AROUND THE PIPE DIAMETER. AT ALL CROSSING ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE MAXIMUM DISTANCE FROM SEWER.
11. CONTRACTOR TO PROVIDE NECESSARY MATERIALS TO ENSURE CONTINUOUS SERVICE OF THE FORCE MAIN THROUGHOUT CONSTRUCTION. ITEMS NEEDED INCLUDE BUT ARE NOT LIMITED TO TEMPORARY PUMPS, STORAGE TANKS, AND POWER. IF A SHUTDOWN IS NEEDED, PRIOR COORDINATION AND AUTHORIZATION FROM THE AFFECTED PROPERTIES MUST BE OBTAINED BY THE CONTRACTOR.



|                                                                                                                             |             |                             |
|-----------------------------------------------------------------------------------------------------------------------------|-------------|-----------------------------|
| Date                                                                                                                        | Description | No.                         |
| Revisions                                                                                                                   |             |                             |
|                                        |             |                             |
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| Project                                                                                                                     |             |                             |
| <b>OSWEGATCHIE FIRE STATION</b>                                                                                             |             |                             |
| WATERFORD CONNECTICUT<br>Drawing Title                                                                                      |             |                             |
| <b>UTILITY PLAN</b>                                                                                                         |             |                             |
| Project No.<br><b>140286501</b>                                                                                             |             | Drawing No.<br><b>CU101</b> |
| Date<br><b>2/7/2025</b>                                                                                                     |             | <b>CU101</b>                |
| Drawn By<br><b>APF</b>                                                                                                      |             |                             |
| Checked By<br><b>BP</b>                                                                                                     |             |                             |
| Sheet <b>6</b> of <b>15</b>                                                                                                 |             |                             |



EROSION AND SEDIMENTATION CONTROL NOTES

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION. THIS PLAN IS BASED ON THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION.

THE PROPOSED LOCATIONS OF SITUATION AND EROSION CONTROL MEASURES REQUIRED ARE SHOWN ON THE SITE GRADING AND LAYOUT PLAN. REFER TO DWG C-3, PROVIDE SILT FENCE, STONE CHECK DAMS AND OTHER EROSION CONTROL MEASURES AS REQUIRED TO ADEQUATELY PREVENT SEDIMENT TRANSPORT AS NOTED IN THE BMP.

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE MAINTAINED IN AN UNTREATED OR UNDEVELOPED CONDITION FOR THE MINIMUM TIME REQUIRED. IN GENERAL, AREAS TO BE VEGETATED SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL.
- SEDIMENT BARRIERS (SILT FENCE, STONE CHECK DAMS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF UPSTREAM DRAINAGE AREAS.
- INSTALL SILT FENCE AT TOE OF SLOPES TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSTREAM ARE PERMANENTLY STABILIZED.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2 TO 1) UNLESS STABILIZED WITH PERMANENT EROSION CONTROL MEASURES.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT TO BE COMPLETED 30 DAYS PRIOR TO THE ANTICIPATED DATE OF THE FIRST KILLING FROST, USE TEMPORARY MULCHING (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY PERMANENT SEEDING, UNTIL UPSTREAM AREAS ARE STABILIZED.
- WHEN FEASIBLE, TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINISH GRADED SHALL BE COMPLETED 30 DAYS PRIOR TO THE FIRST KILLING FROST.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS. POST SEEDING SEDIMENT, IF ANY, WILL BE DISPOSED OF IN AN ACCEPTABLE MANNER.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND REVEGETATED AS FOLLOWS:
  - A MINIMUM OF FOUR (4) INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT DEEMED FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TUNING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 300 POUNDS PER ACRE OR 7.5 POUNDS PER 1,000 SQUARE FEET USING 10-10-10 (N-P205-K20) OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 100% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 4 TONS PER ACRE (180 LB PER 1,000 SQ. FT.) FOR CHALK, CLAY LOAM, AND HIGH ORGANIC SOIL AT A RATE OF 3 TONS PER ACRE (135 LBS PER 1,000 SQ. FT.) FOR SANDY LOAM, LOAM AND SILT LOAM. AT A RATE OF 2 TONS PER ACRE (90 LBS PER 1,000 SQ. FT.) FOR LOAMY SAND, AND SAND.
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED WITH A MIXTURE OF 47% CREEPING RED FESCUE, 25% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED WITH A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYE GRASS. SEEDING RATE IS 3.0 LBS PER 1,000 SQ. FT. LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
  - HAY MULCH AT THE RATE OF 2 TONS PER ACRE OR 90-95 LBS PER 1,000 SQUARE FEET ON A HYDRO-APPLICATION OF CELLULOSE FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BRIDGER WILL BE USED ON HAY MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE WORK AREA IS STABILIZED.
- WETLANDS (EXCEPTING THOSE WHICH ARE TO BE FILLED IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS) WILL BE PROTECTED WITH SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- IN GENERAL, AREAS WITHIN 100 FEET OF DELINEATED WETLANDS OR STREAMS SHALL HAVE A MAXIMUM PERIOD OF EXPOSURE OF NOT MORE THAN 15 DAYS.
- FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IN ALL AREAS WITHIN 100 FEET OF DELINEATED WETLANDS OR STREAMS.

EROSION CONTROL DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD DEFINED: NOVEMBER 1 THROUGH APRIL 15
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY PRECIPITATION EVENT.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE. IN ALL CASES, MULCH SHALL BE APPLIED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15TH, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE-FREEZING TEMPERATURES, THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE 250 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT EXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SALES OF HAY OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE EITHER WOOD CELLULOSE FIBER OR BE ANCHORED WITH MULCH NETTING OR CHEMICAL TACK.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE REACH WITH A SLOPE GREATER THAN 2%, FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 6%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 10%. AFTER OCTOBER 1ST, THE SAME APPLIES FOR ALL SLOPES GREATER THAN 6%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING WINTER CONSTRUCTION PERIODS ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

MULCH ANCHORING

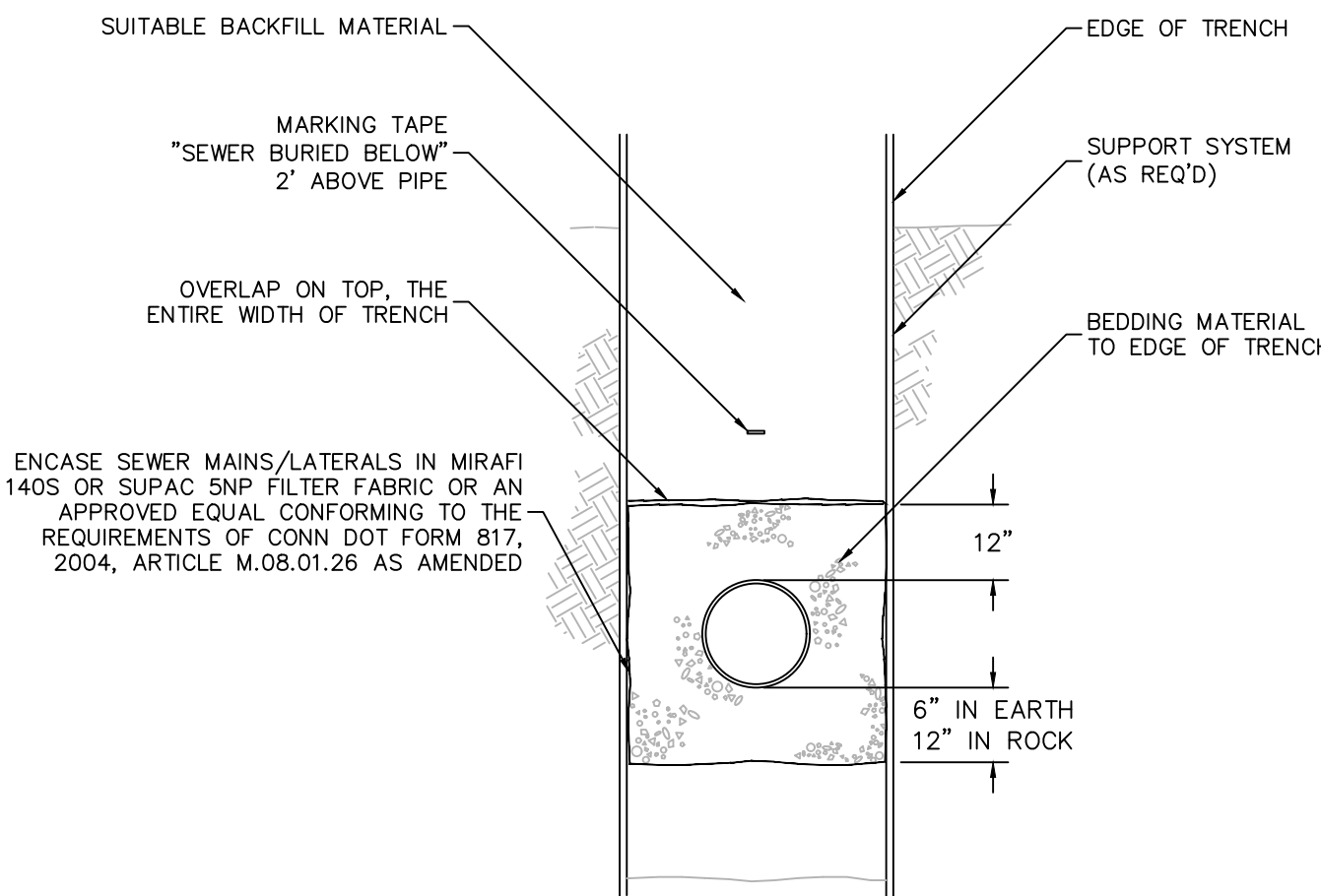
ANCHOR MULCH WITH: MULCH NETTING (AS PER MANUFACTURER); ASPHALT DAKLASHION (2.0L GALLONS PER SQ. YD.); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS) OR BE WOOD CELLULOSE FIBER (2000 LBS./ACRE). NETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

MULCH AND MULCH ANCHORING

| LOCATION                                                                                                                                   | MULCH                              | RATE (1000 S.F.) |
|--------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|------------------|
| PROTECTED AREA                                                                                                                             | STRAW OR HAY *                     | 100 POUNDS       |
| WINDY AREAS                                                                                                                                | STRAW OR HAY * (ANCHORED) *        | 100 POUNDS       |
| MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES (GREATER THAN 3:1)                                                                         | JUTE MESH, EXCELISOR MAT OR EQUIV. | AS REQUIRED      |
| * A HYDRO-APPLICATION OF CELLULOSE FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BRIDGER SHALL BE USED ON HAY MULCH FOR WIND CONTROL. |                                    |                  |
| ADDITIONAL TEMPORARY SEED MIXTURE (FOR PERIODS LESS THAN 12 MONTHS)                                                                        |                                    |                  |
| DATES                                                                                                                                      | SEED                               | RATE             |
| 3/1 - 5/15                                                                                                                                 | OATS                               | 80 LBS./ACRE     |
| 5/15 - 9/15                                                                                                                                | ANNUAL RYE GRASS                   | 40 LBS./ACRE     |
| 9/1 - 10/15                                                                                                                                | WINTER RYE                         | 120 LBS./ACRE    |
| 4/15 - 7/1 (9/15 - 10/15)                                                                                                                  | MILLET                             | 20 LBS./ACRE     |
| 5/15 - 7/15                                                                                                                                |                                    |                  |
| *SEED RATE ONLY                                                                                                                            |                                    |                  |

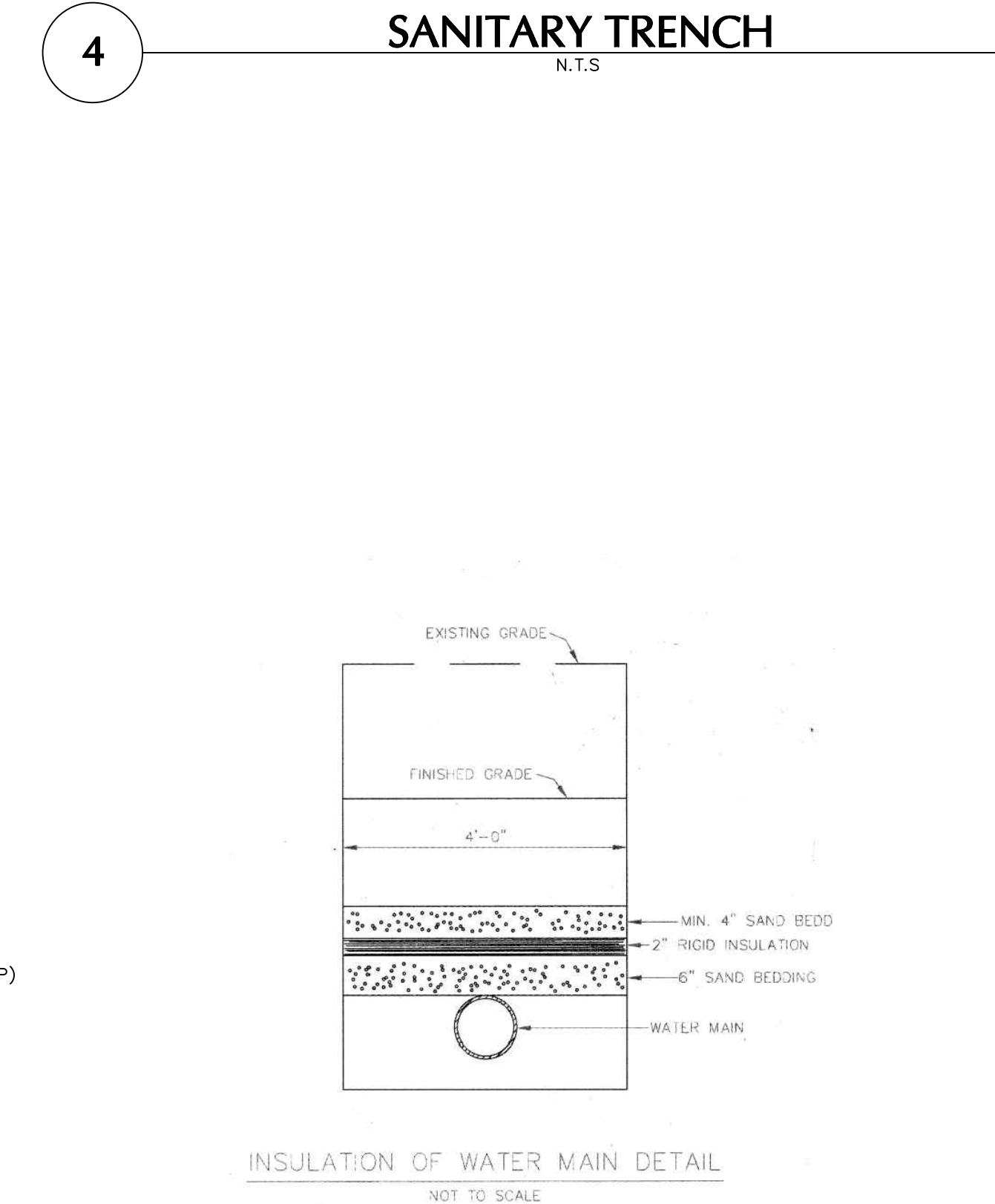
ELECTRICAL UTILITY TRENCH

N.T.S



SANITARY TRENCH

N.T.S

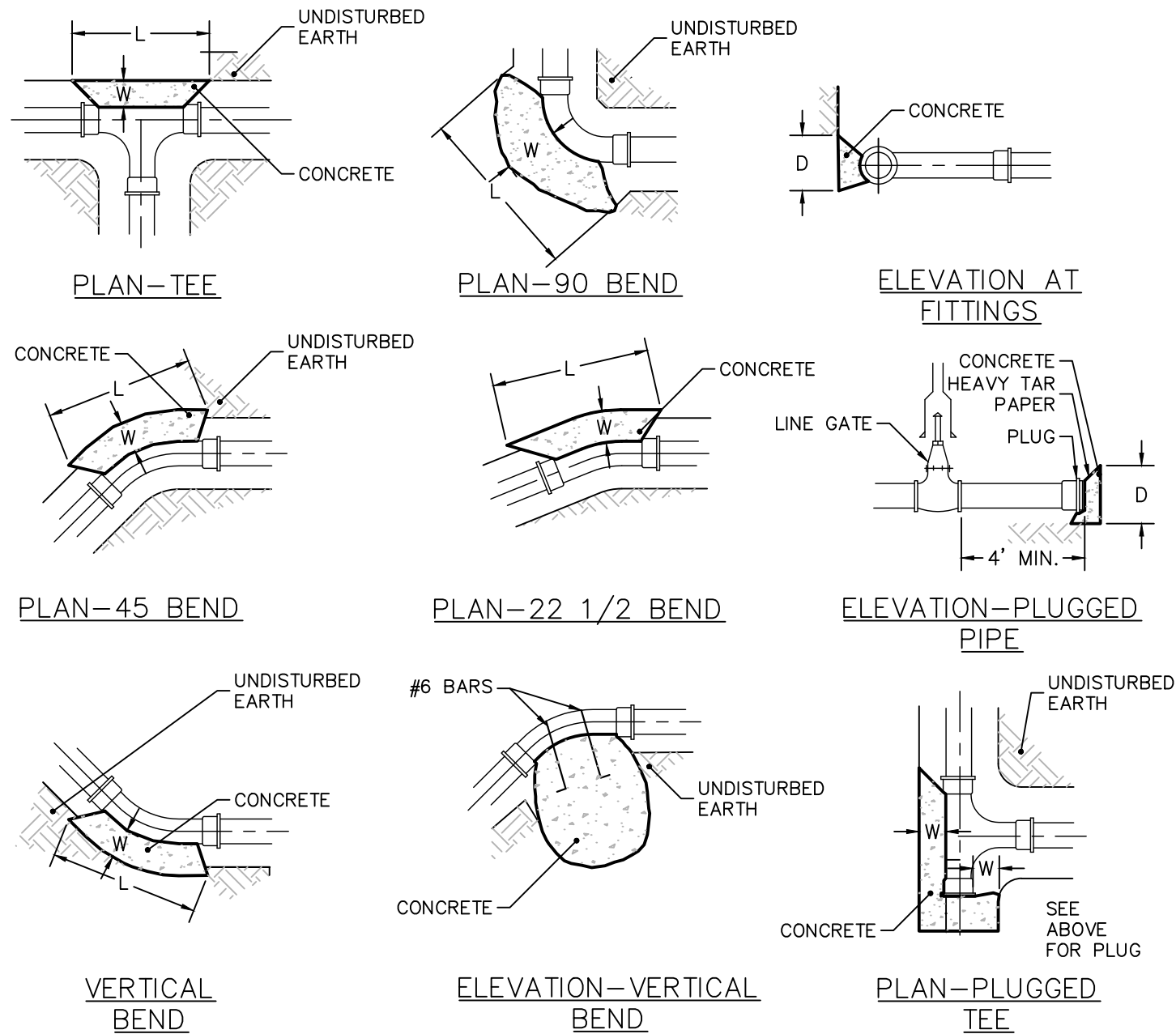


INSULATION OF WATER MAIN DETAIL

NOT TO SCALE

SANITARY CLEANOUT

N.T.S



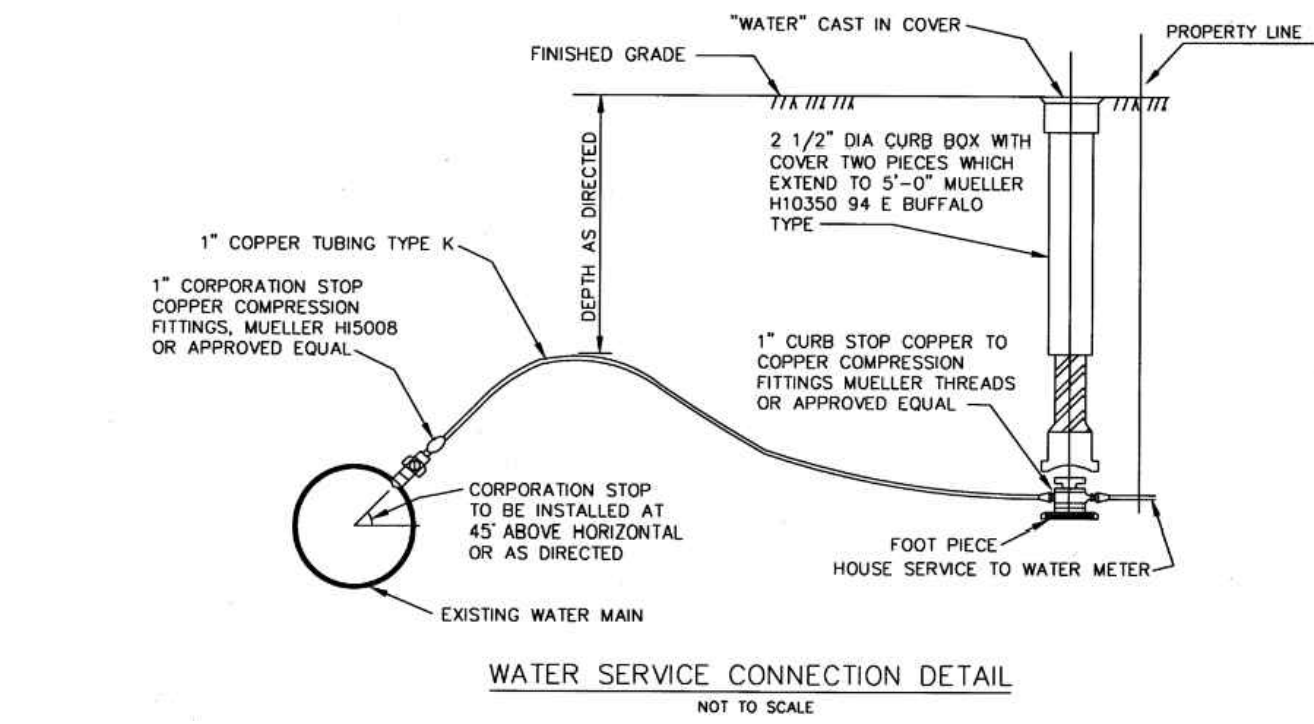
| THRUST BLOCK SCHEDULE |       |      |     |     |       |     |       |      |     |     |       |      |
|-----------------------|-------|------|-----|-----|-------|-----|-------|------|-----|-----|-------|------|
| PIPE SIZE             | TEE   | L    | D   | 22  | 1/2   | 45  | 90    | W    | L   | D   | L     | D    |
| 6"                    | 18"   | 15"  | 15" | 12" | 15"   | 12" | 15"   | 21"  | 12" | 3"  | 2"    | 12"  |
| 8"                    | 2'    | 18"  | 18" | 12" | 18"   | 12" | 2'    | 18"  | 2'  | 18" | 2'    | 18"  |
| 12"                   | 3'    | 2'   | 2'  | 12" | 2'    | 12" | 3'    | 2'   | 28" | 16" | 4'    | 2.5' |
| 16"                   | 4'    | 2.5' | 2'  | 12" | 2.33' | 15" | 4'    | 2.5' | 31" | 20" | 5.25' | 3'   |
| 20"                   | 5.25' | 3'   | 2'  | 18" | 3'    | 2'  | 5.25' | 3'   | 33" | 24" | 7.5'  | 3'   |

BASES:  
2,000 LB/SQ.FT. SOIL RESISTANCE  
250 PSI WATER PRESSURE  
CORRECTION FACTORS FOR OTHER SOILS:  
SOFT CLAY 4  
SAND 2  
SAND & GRAVEL 1.33  
SHALE 0.4

NOTE:  
1. IF SOFT MATERIALS ARE ENCOUNTERED, THE THRUST BLOCKS SIZES SHALL BE ADJUSTED ACCORDINGLY.  
2. CONCRETE TO BE 3000 PSI.

THRUST BLOCKS

N.T.S



WATER MAIN CONNECTION WITHIN R.O.W.

N.T.S

DETAIL PROVIDED BY TOWN OF WATERFORD

WATERFORD UTILITY COMMISSION

TOWN OF WATERFORD, CT

STANDARD DETAILS

WATERFORD UTILITY STANDARDS

N.T.S

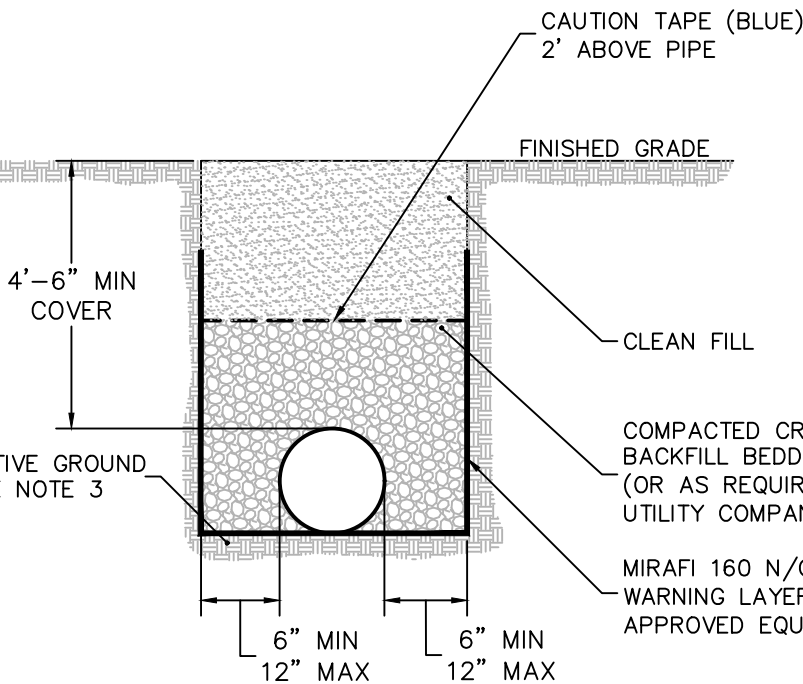
DETAIL:

1A

DATE:

JAN 2006

DETAIL PROVIDED BY TOWN OF WATERFORD

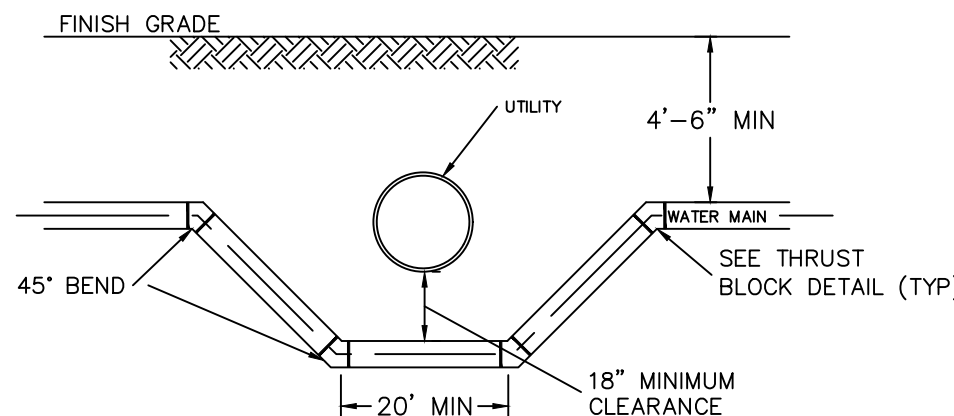


NOTES:

- TRENCHES IN STABLE SOIL OVER 5 FT DEEP SHALL BE REINFORCED BY APPROVED OSHA METHODS.
- TRENCHES SHALL BE COMPACTED.
- IF NATIVE GROUND IS NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO AN ACCEPTABLE DEPTH AND INSTALL MATERIALS AS APPROVED BY ENGINEERS AND UTILITY COMPANY.
- THE WARNING LAYER IS NOT REQUIRED IN AREAS OF THE SITE WHERE SOIL IS CLASSIFIED AS REGULATED MATERIAL. WHERE INSTALLED, WARNING LAYER SHALL EXTEND UP THE SIDES OF THE EXCAVATION TO MATCH WITH THE HORIZONTAL LINER.

WATER MAIN TRENCH

N.T.S



NOTE: WATER MAIN SHALL BE CONSTRUCTED OF CEMENT LINED CLASS 52 DUCTILE IRON PIPE OR BETTER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED UNDER THE CROSS PIPE SO THAT BOTH JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.

WATER MAIN DROP

N.T.S

WATER MAIN WITHIN R.O.W.

N.T.S

DETAIL PROVIDED BY TOWN OF WATERFORD

DateDescriptionNo.

Revisions



LANGAN

Langan CT, Inc.  
555 Long Wharf Drive, 9th Floor  
New Haven, CT 06511  
T: 203.562.5771 F: 203.789.6142 www.langan.com

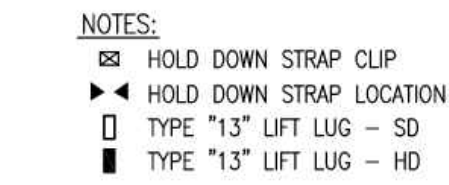
ProjectOSWEGATCHIE FIRE STATION

WATERFORDCONNECTICUT  
Drawing Title

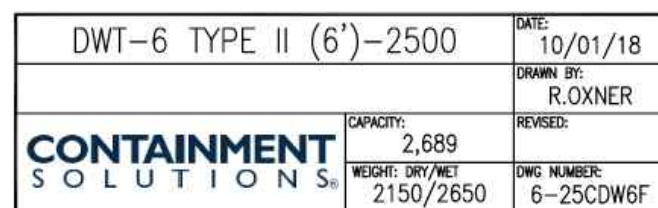
Project No.140286501  
Date2/7/2025  
Drawn ByAPF  
Checked ByBP

Drawing No.CU501  
Sheet 7 of 15

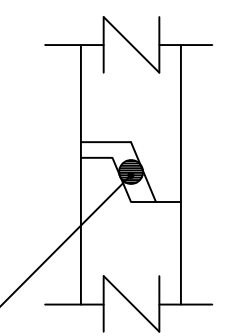
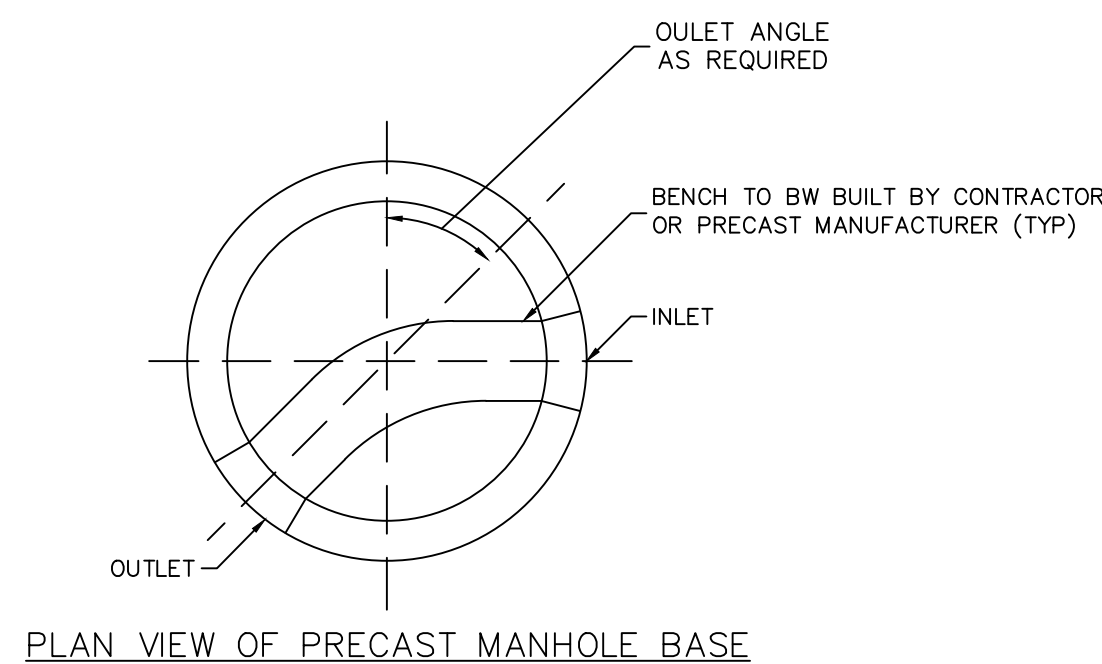




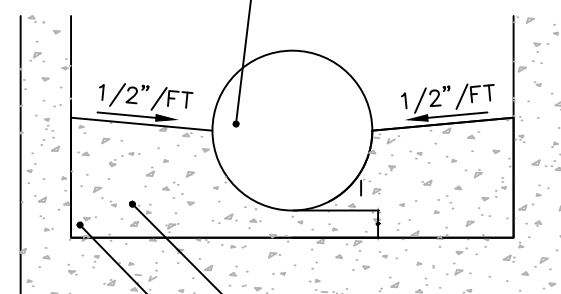
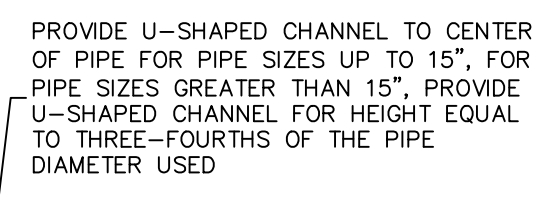
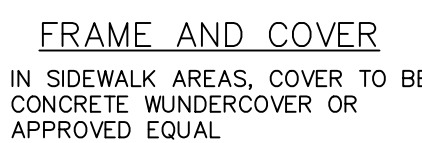
## 2 PROPANE STORAGE TANK (OR APPROVED EQUAL)



|                                                                                     |                              |                           |
|-------------------------------------------------------------------------------------|------------------------------|---------------------------|
| DWT-6 TYPE II (6')-2500                                                             |                              | DATE: 10/01/18            |
|  |                              | DRAWN BY: R.OXNER         |
|                                                                                     |                              | REVISED:                  |
|                                                                                     | CAPACITY: 2,689              |                           |
|                                                                                     | WEIGHT: DRY/WET<br>2150/2650 | DWG. NUMBER:<br>6-25CDW6F |



JOINT DETAIL

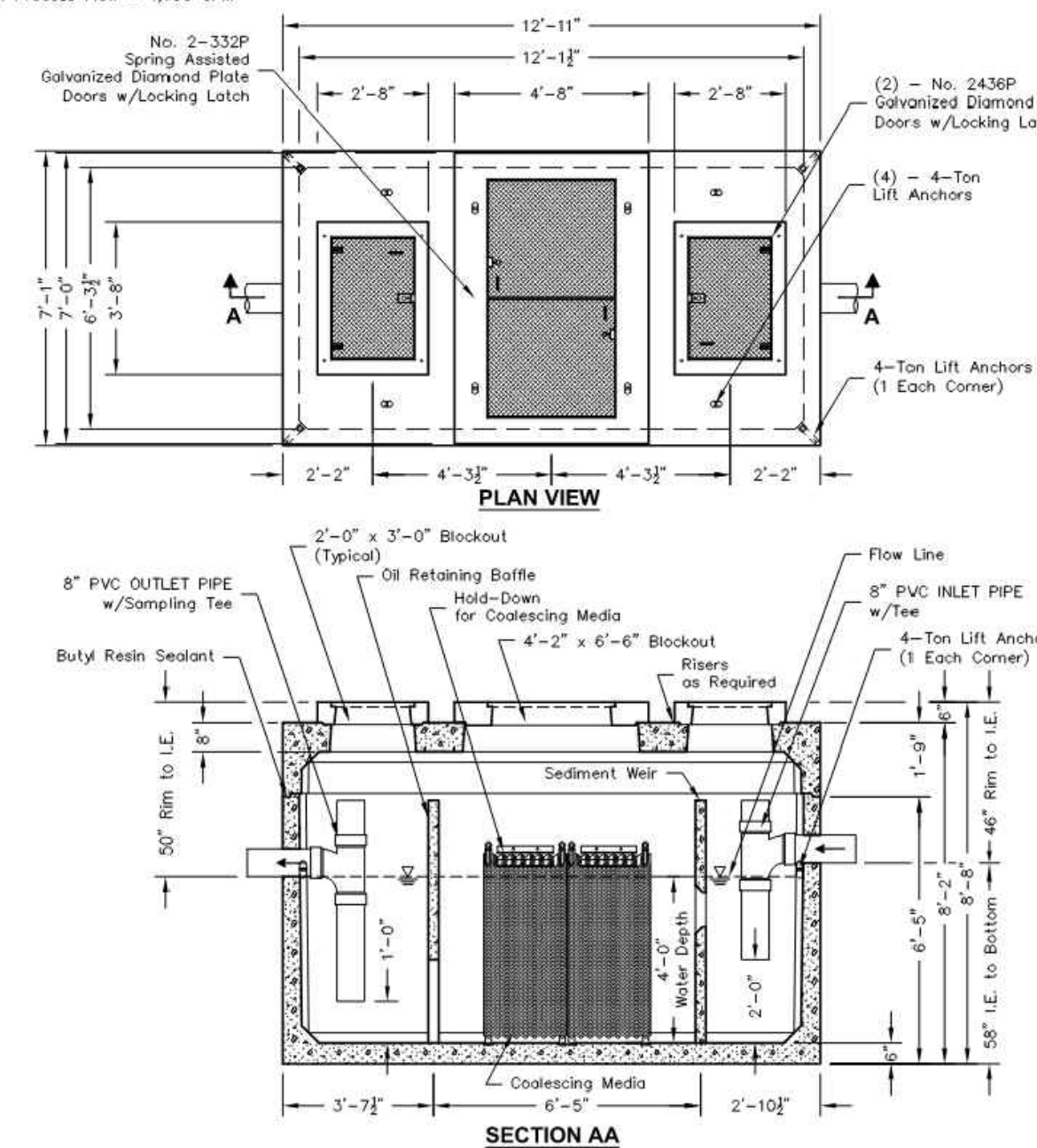
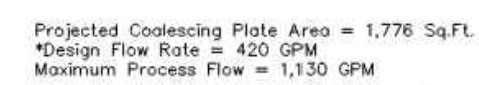
BENCH DETAIL

NOTE:

| CONE DIMENSIONS |        |
|-----------------|--------|
| DIA. OPENING    | HEIGHT |
| 30"             | 36"    |

CONCRETE TO TEST 3000 P.S.I. AT 28 DAYS  
IN CONFORMANCE WITH ASTM C-478-68  
MANHOLES SHALL HAVE PAVED INVERTS.

# SANITARY MANHOLE



|                         |                     |                           |
|-------------------------|---------------------|---------------------------|
| *DESIGN<br>FLOW<br>RATE | EFFLUENT<br>QUALITY | 100%<br>COLLECTED<br>SIZE |
| 420 GPM                 | 10 ppm              | 60 Microns                |

Basic Design Information: \*

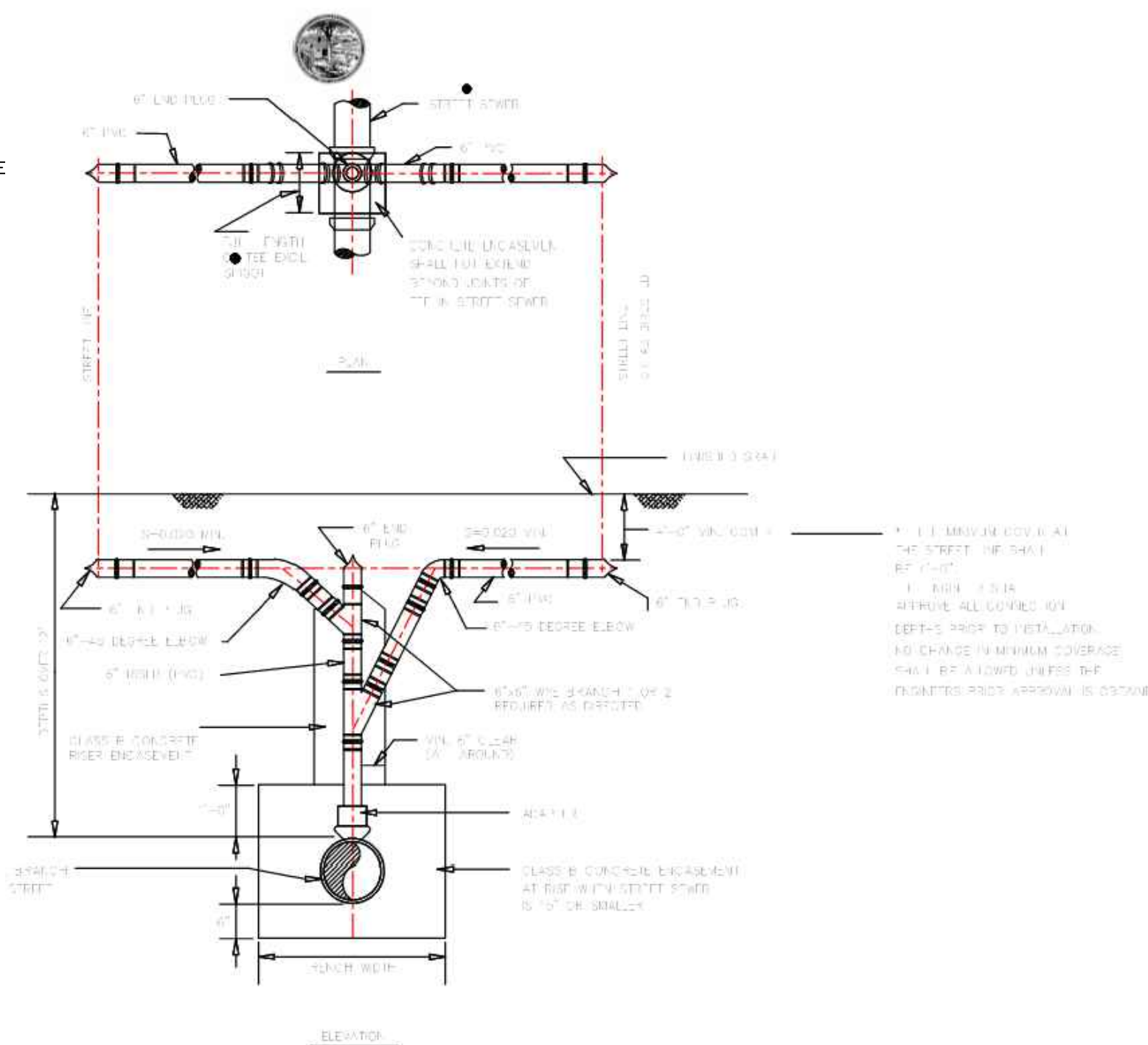
- Basic Design Information:** \*
- Influent Characteristics
  - Oil Specific Gravity = 0.88
  - Operating Temperature = 50°
  - Influent Oil Concentration = 100 ppm
  - Mean Oil Droplet Size = 130 Microns
  - .033 ft/min. Critical Oil Droplet Predicted Rise Rate

\*Basic Design Information per Washington State Department of Ecology; User to Adjust Estimates for Variations in Real Conditions.

|                                                                                                                                                                                                       |                                                                                                                                                          |                                                                                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
|  <b>Oldcastle Precast</b><br>PO Box 323, Wilsonville, Oregon 97070-0323<br>Tel: (503) 682-2844 Fax: (503) 682-2657 | <b>612-2-CPS</b><br>File Name: 020-612CPS2<br>Issue Date: 2018<br><a href="http://oldcastleprecast.com/wilsonville">oldcastleprecast.com/wilsonville</a> | <b>612-2-CPS</b><br><b>OIL / WATER SEPARATOR</b><br><b>COALESCING - 420 GPM</b> |
|                                                                                                                                                                                                       |                                                                                                                                                          |                                                                                 |
|                                                                                                                                                                                                       |                                                                                                                                                          |                                                                                 |

## 9.1

OIL/WATER SEPARATOR (OR APPROVED EQUAL)  
N.T.S



**WATER MAIN CONNECTION WITHIN R.O.W.**

DETAIL PROVIDED BY  
TOWN OF WATERFORD

| Date                                                                                                                                                                                   | Description | No.            |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------------|
| Revisions                                                                                                                                                                              |             |                |
|                                                                                                   |             |                |
| <h1>LANGAN</h1> <p>Langan CT, Inc.<br/>           555 Long Wharf Drive, 9th Floor<br/>           New Haven, CT 06511<br/>           T: 203.562.5771 F: 203.789.6142 www.langan.com</p> |             |                |
| Project                                                                                                                                                                                |             |                |
| <h2>OSWEGATCHIE FIRE STATION</h2>                                                                                                                                                      |             |                |
| WATERFORD                                                                                                                                                                              |             | CONNECTICUT    |
| Drawing Title                                                                                                                                                                          |             |                |
| <h1>UTILITY DETAILS II</h1>                                                                                                                                                            |             |                |
| Project No.                                                                                                                                                                            |             | Drawing No.    |
| 140286501                                                                                                                                                                              |             |                |
| Date                                                                                                                                                                                   |             |                |
| 2/7/2025                                                                                                                                                                               |             |                |
| Drawn By                                                                                                                                                                               |             |                |
| APF                                                                                                                                                                                    |             | <h1>CU502</h1> |
| Checked By                                                                                                                                                                             |             |                |
| BP                                                                                                                                                                                     |             |                |
|                                                                                                                                                                                        |             | Sheet 8 of 15  |



# RAIN GARDEN NOTES

1. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF PROPOSED RAIN GARDEN.
2. THE LOCATION OF THE PROPOSED RAIN GARDEN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTON OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR MATERIAL STOCKPILES AND PREVENT SILT ACCUMULATION.
3. THE USE OF THE PROPOSED RAIN GARDEN LOCATION FOR A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION IS DISCOURAGED. HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE TEMPORARY SEDIMENT TRAP MUST BE A MINIMUM OF TWO FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BOTTOM OF THE PROPOSED RAIN GARDEN.
4. EXCAVATION AND CONSTRUCTION OF THE RAIN GARDEN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE OF THE LIMITS OF THE BASIN.
5. THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE RAIN GARDEN MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF A STORMWATER BASIN OR RAIN GARDEN CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN THROUGHOUT ALL PHASES OF CONSTRUCTION TO DIRECT FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED.
6. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO RAIN GARDEN USE.
7. PRIOR TO PLACING THE BASIN SOIL MIX AND PLANTINGS, CONTRACTOR TO REMOVE ALL ACCUMULATED SILT AND SEDIMENT AND PERFORM TWO PERCOLATION TESTS IN THE PRESENCE OF THE ENGINEER TO ENSURE INFILTRATION CAPABILITIES.
8. THE RAIN GARDEN IS TO BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST 6 MONTHS POST CONSTRUCTION TO ENSURE PROPER INFILTRATION IS REALIZED. INSPECTION LOG TO CAPTURE THE DURATION OF STANDING WATER IN THE BASIN POST STORM AND AMOUNT OF ANY SEDIMENT BUILDUP. IF SEDIMENT BUILDUP IS OBSERVED, IF BASIN IS CLOGGED, IF BASIN IS CLOGGED, CONTRACTOR TO REMOVE CLOGGED BASIN MATERIALS AND REPLACE WITH NEW. ADDITIONALLY, CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT PRIOR TO PLACING TOPSOIL AND PLANTINGS.
9. POST 6 MONTHS OF OPERATION, THE RAIN GARDEN MAINTENANCE TO CONTINUE IN ACCORDANCE WITH MOST CURRENT CONNECTICUT STORMWATER QUALITY MANUAL AND EROSION CONTROL GUIDELINES.
10. CONTRACTOR TO PERFORM FIELD PERMEABILITY TESTS BOTH PRE- AND POST-CONSTRUCTION TO CONFIRM PERCOLATION RATES WITHIN THE RAIN GARDEN REMAIN THE SAME AS DESIGNED.

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9. POST 6 MONTHS OF OPERATION, THE RAIN GARDEN MAINTENANCE AND CONTINUE IN ACCORDANCE WITH MOST CURRENT BEST MANAGEMENT PRACTICES FOR RAIN GARDEN MAINTENANCE, EROSION CONTROL GUIDELINES.
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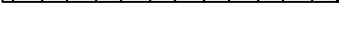
# GENERAL NOTES

---

1. EXISTING INFORMATION OBTAINED FROM THE FOLLOWING "BOUNDARY AND TOPOGRAPHIC SURVEY", 439 & 441 BOSTON POST ROAD, WATERFORD, CT, DATED JUNE 28, 2024.
2. PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM SILVER PETRUCELLI ARCHITECTURE IN DECEMBER 2024.
3. THE SITE IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP 09011C048J1, EFFECTIVE AUGUST 5, 2013. ZONE X IS AN AREA OF MINIMAL FLOOD HAZARD WITH NO BASE FLOOD ELEVATIONS.

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| LEGEND                    |                                                                                     |
|---------------------------|-------------------------------------------------------------------------------------|
|                           | PROPOSED                                                                            |
| PROPERTY LINE             |  |
| LIMIT OF DISTURBANCE      |  |
| SILT FENCE                |  |
| EXISTING INLET PROTECTION |  |
| PROPOSED INLET PROTECTION |  |
| PROPOSED BUILDING         |  |
| HAYBALES                  |  |
| TEMPORARY PARKING AREA    |  |
| CONSTRUCTION ENTRANCE     |  |
| PROPOSED CURB             |  |

- |                           |                                                                                     |
|---------------------------|-------------------------------------------------------------------------------------|
| PROPERTY LINE             |  |
| LIMIT OF DISTURBANCE      |  |
| SILT FENCE                |  |
| EXISTING INLET PROTECTION |  |
| PROPOSED INLET PROTECTION |  |
| PROPOSED BUILDING         |  |
| HAYBALES                  |  |
| TEMPORARY PARKING AREA    |  |
| CONSTRUCTION ENTRANCE     |  |
| PROPOSED CURB             |  |

# SOIL EROSION-SEDIMENT CONTROL NOTES

**PROPOSED DEVELOPMENT**

1. CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
2. THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN WITHIN THIS PLANSET. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.

**PROJECT SCHEDULE**

PHASE 1 (APPROXIMATELY SPRING 2025 – SPRING 2026):

1. SCHEDULE A PRE-CONSTRUCTION MEETING WITH TOWN STAFF
2. FLAG THE CLEARING LIMIT LINES
3. REQUEST STAFF INSPECTION (IF REQUIRED)
4. INSTALL EROSION CONTROLS FOR PHASE 1 IN THE FOLLOWING ORDER:
  - 4.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
  - 4.2. INSTALLATION OF INLET PROTECTION
  - 4.3. INSTALLATION OF TREE PROTECTION
  - 4.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
  - 4.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
5. REQUEST STAFF INSPECTION (IF REQUIRED)
6. COMPLETION OF SITE CLEARING WITHIN THE LIMITS OF PHASE 1
7. COMPLETION OF ROUGH GRADING WITHIN THE LIMITS OF PHASE 1
8. PREPARATION OF FOUNDATION AND BUILDING PAD
9. INSTALLATION OF SITE UTILITIES
10. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION WITHIN LIMITS OF PHASE 1
11. SUBSTANTIAL COMPLETION OF BUILDING FOR PHASE 1

PHASE 2 (APPROXIMATELY SPRING 2026 – SUMMER 2026):

12. INSTALL ADDITIONAL EROSION CONTROL MEASURES NEEDED FOR PHASE 2 IN THE FOLLOWING ORDER:
  - 12.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
  - 12.2. INSTALLATION OF INLET PROTECTION
  - 12.3. INSTALLATION OF TREE PROTECTION
  - 12.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
  - 12.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
13. REQUEST STAFF INSPECTION (IF REQUIRED)
14. COMPLETE CLEARING OF SITE, INCLUDING DEMOLITION OF EXISTING FIRE STATION
15. COMPLETION OF ROUGH GRADING OF THE SITE
16. COMPLETE INSTALLATION OF SITE UTILITIES
17. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION
18. COMPLETION OF RAIN GARDEN AND PRETREATMENT SWALE
19. COMPLETE LANDSCAPING AND SITE STABILIZATION IN THE FOLLOWING ORDER:
  - 19.1. INSTALLATION OF PLANTING SOIL
  - 19.2. INSTALLATION OF PLANTINGS AND TREES
  - 19.3. INSTALLATION OF STABILIZED SEED MIX
  - 19.4. CONTRACTOR TO CONFIRM ESTABLISHMENT OF SEED MIX AND PLANTINGS
20. THE REMOVAL OF CONSTRUCTION E&S CONTROL SYSTEMS WHEN SITE IS FULLY STABILIZED

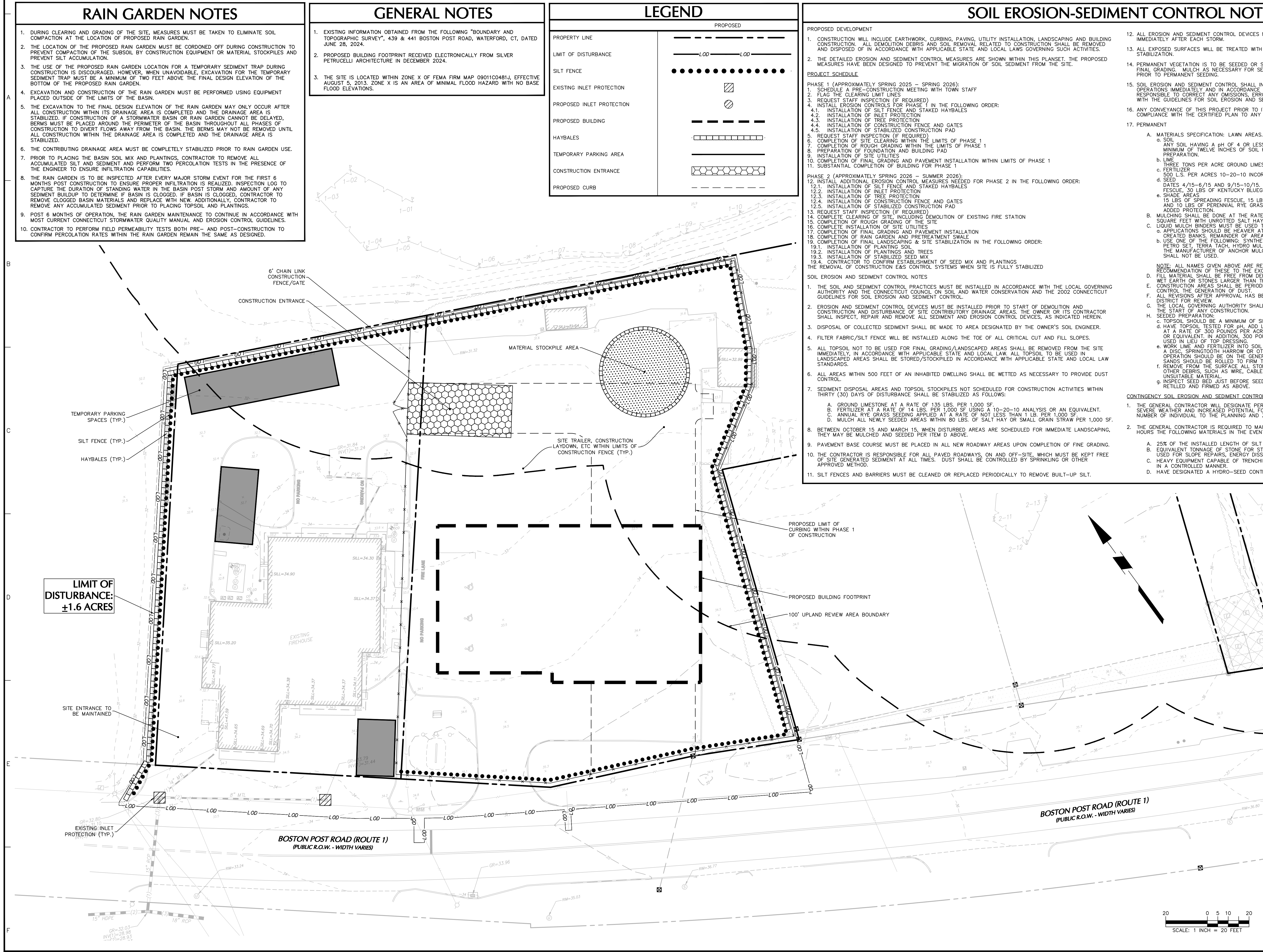
**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
2. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION AND DISCONTINUED PRIOR TO DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN.
3. DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
4. FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW STANDARDS.
6. ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:
  - a. GROUND LIMESTONE AT A RATE OF 135 LBS. PER 1,000 SF.
  - b. FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SF. USING A 10-20-10 ANALYSIS OR AN EQUIVALENT.
  - c. ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
  - d. 2.0 MULCH (ALL NEWLY SEEDD AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRASS STRAW PER 1,000 SF.
8. BETWEEN OCTOBER 15 AND MARCH 15, WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING, THEY MAY BE MULCHED AND SEEDDED PER ITEM D ABOVE.
9. PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF ANY UNDESIRABLE SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
11. SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.
12. ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
13. ALL EXPOSED SURFACES WILL BE TREATED WITH TOPSOIL PER THE LANDSCAPE PLANS PRIOR TO FINAL STABILIZATION.
14. PERMANENT VEGETATION IS TO BE SEEDD OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZER PRIOR TO PERMANENT SEEDING.
15. SOIL EROSION AND SEDIMENT CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO, OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE ABOVE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
16. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
17. PERMANENT
  - a. MATERIALS SPECIFICATION: LAWN AREAS.
    - a. SOIL  
ANY SOIL HAVING A PH OF 4 OR LESS CONTAINING ION SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A PH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
    - b. LIME  
THREE TONS PER ACRE GROUND LIMESTONE INCORPORATED FOUR INCHES INTO SOIL.
    - c. FERTILIZER  
500 LBS. PER ACRE 10-20-10 INCORPORATED FOUR INCHES INTO SOIL.
    - d. SEED  
DATES 4/15-6/15 AND 9/15-10/15, 30 LBS OF KENTUCKY 31 TALL FESCUE, 30 LBS OF SPREADING FESCUE, 30 LBS OF KENTUCKY BLUEGRASS PER ACRE.
    - e. SHADE AREAS  
15 LBS OF SPREADING FESCUE, 15 LBS OF CHEWINGS RED FESCUE, 30 LBS KENTUCKY BLUEGRASS, AND 10 LBS OF PERENNIAL RYE GRASS PER ACRE. MULCH SHOULD BE APPLIED AFTER SEEDING FOR ADDED PROTECTION.
    - f. MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNROTATED SALT HAY.
    - g. LIQUID MULCH BINDER MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES.
      - a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
      - b. USE ONE OF THE FOLLOWING: PETNETIC OR ORGANIC BINDERS. BINDERS SUCH AS CURASOL DCA-70, PETRO SET, TERRA TACK, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.
  - NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.
  - d. FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.
  - e. CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.
  - f. ALL REVISIONS FOR APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.
  - g. THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.
  - h. SEEDD PREPARATION:
    - c. TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (COMPACTED) BEFORE SEEDING.
    - d. HAVE TOPSOIL STOCKPILED 400 LBS. PER 1,000 SF. NECESSARY TO APPLY PH OF 5.5 APPLY FERTILIZER AT A RATE OF 300 POUNDS PER ACRE OR SEVEN POUNDS PER 4,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF FERTILIZER.
    - e. WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE IN THE DIRECTION OF THE SLOPE. ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
    - f. REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLUMPS, OR OTHER UNSUITABLE MATERIAL.
    - g. INSPECT SEED BED BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

**CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE**

1. THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION. CONTRACTOR TO PROVIDE NAME AND PHONE NUMBER OF INDIVIDUAL TO THE PLANNING AND ZONING COMMISSION PRIOR TO THE START OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SESC MEASURES:
  - a. 25% OF THE INSTALLED LENGTH OF SILT FENCE
  - b. EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 1 STABILIZATION ENTRANCE. STONE COULD BE USED FOR SLOPE REPAIRS, ENERGY DISSIPATOR ENHANCEMENTS, ETC.
  - c. HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF IN A CONTROLLED MANNER.
  - d. HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS

- PROPOSED DEVELOPMENT
1. CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
2. THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN WITHIN THIS PLANSET. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.
- PROJECT SCHEDULE
- PHASE 1 (APPROXIMATELY SPRING 2025 – SPRING 2026):
1. SCHEDULE A PRE-CONSTRUCTION MEETING WITH TOWN STAFF
2. FLAG THE CLEARING LIMIT LINES
3. REQUEST STAFF INSPECTION (IF REQUIRED)
4. INSTALL EROSION CONTROLS FOR PHASE 1 IN THE FOLLOWING ORDER:
- 4.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
- 4.2. INSTALLATION OF INLET PROTECTION
- 4.3. INSTALLATION OF TREE PROTECTION
- 4.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
- 4.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
5. REQUEST STAFF INSPECTION (IF REQUIRED)
6. COMPLETE SITE CLEARING WITHIN THE LIMITS OF PHASE 1
7. COMPLETION OF ROUGH GRADING WITHIN THE LIMITS OF PHASE 1
8. PREPARATION OF FOUNDATION AND BUILDING PAD
9. INSTALLATION OF SITE UTILITIES
10. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION WITHIN LIMITS OF PHASE 1
11. SUBSTANTIAL COMPLETION OF BUILDING FOR PHASE 1
- PHASE 2 (APPROXIMATELY SPRING 2026 – SUMMER 2028):
12. INSTALL ADDITIONAL EROSION CONTROL MEASURES NEEDED FOR PHASE 2 IN THE FOLLOWING ORDER:
- 12.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
- 12.2. INSTALLATION OF INLET PROTECTION
- 12.3. INSTALLATION OF TREE PROTECTION
- 12.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
- 12.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
13. REQUEST STAFF INSPECTION (IF REQUIRED)
14. COMPLETE CLEARING OF SITE, INCLUDING DEMOLITION OF EXISTING FIRE STATION
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16. COMPLETE INSTALLATION OF SITE UTILITIES
17. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION
18. COMPLETION OF RAIN GARDEN AND PRE-TREATMENT SWALE
19. COMPLETION OF FINAL LANDSCAPING & SITE STABILIZATION IN THE FOLLOWING ORDER:
- 19.1. INSTALLATION OF PLANTING SOIL
- 19.2. INSTALLATION OF PLANTINGS AND TREES
- 19.3. INSTALLATION OF STABILIZED SEED MIX
- 19.4. CONTRACTOR TO CONFIRM ESTABLISHMENT OF SEED MIX AND PLANTINGS
- THE REMOVAL OF CONSTRUCTION E&S CONTROL SYSTEMS WHEN SITE IS FULLY STABILIZED
- SOIL EROSION AND SEDIMENT CONTROL NOTES
1. THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AGENCIES' EROSION AND SEDIMENT CONTROL STANDARDS, ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
2. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION AND DISTURBANCE OF SITE CONTRIBUTORY DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN.
3. DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
4. FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS. ALL TOPSOIL TO BE STORED ON LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS STANDARDS.
6. ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:
- A. GROUND LIMESTONE AT A RATE OF 135 LBS. PER 1,000 SF.
- B. FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SF. USING A 10-20-10 ANALYSIS OR AN EQUIVALENT.
- C. ANNUAL RYEGRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
- D. MULCH ALL NEWLY SEEDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF.
8. BETWEEN OCTOBER 15 AND MARCH 15, WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING, THEY MAY BE MULCHED AND SEEDED PER ITEM D ABOVE.
9. PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
11. SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.



|                                                                                                                                                            |             |                                   |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|-----------------------------------|
| Date                                                                                                                                                       | Description | No.                               |
| Revisions                                                                                                                                                  |             |                                   |
|                                                                       |             |                                   |
| <h1>LANGAN</h1> <p>Langan CT, Inc.<br/> 555 Long Wharf Drive, 9th Floor<br/> New Haven, CT 06511</p> <p>T: 203.562.5771 F: 203.789.6142 www.langan.com</p> |             |                                   |
| Project                                                                                                                                                    |             |                                   |
| <h2>OSWEGATCHIE FIRE STATION</h2>                                                                                                                          |             |                                   |
| WATERFORD                                                                                                                                                  |             | CONNECTICUT                       |
| Drawing Title<br><h1>EROSION CONTROL/<br/>CONSTRUCTION<br/>PHASING PLAN 1</h1>                                                                             |             |                                   |
| Project No.<br>140286501                                                                                                                                   |             | Drawing No.<br><br><h1>CE101</h1> |
| Date<br>2/7/2025                                                                                                                                           |             |                                   |
| Drawn By<br>APF                                                                                                                                            |             |                                   |
| Checked By<br>BP                                                                                                                                           |             |                                   |
|                                                                                                                                                            |             | Sheet 9 of 15                     |



# RAIN GARDEN NOTES

1. DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF PROPOSED RAIN GARDEN.
2. THE LOCATION OF THE PROPOSED RAIN GARDEN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR MATERIAL STOCKPILES AND PREVENT SILT ACCUMULATION.
3. THE USE OF THE PROPOSED RAIN GARDEN LOCATION FOR A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION IS DISCOURAGED. HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE TEMPORARY SEDIMENT TRAP MUST BE A MINIMUM OF TWO FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BOTTOM OF THE PROPOSED RAIN GARDEN.
4. EXCAVATION AND CONSTRUCTION OF THE RAIN GARDEN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE OF THE LIMITS OF THE BASIN.
5. THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE RAIN GARDEN MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF A STORMWATER BASIN OR RAIN GARDEN CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN THROUGHOUT ALL PHASES OF CONSTRUCTION TO DIVERT FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED.
6. THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO RAIN GARDEN USE.
7. PRIOR TO PLACING THE BASIN SOIL MIX AND PLANTINGS, CONTRACTOR TO REMOVE ALL ACCUMULATED SILT AND SEDIMENT AND PERFORM TWO PERCOLATION TESTS IN THE PRESENCE OF THE ENGINEER TO ENSURE INFILTRATION CAPABILITIES.
8. THE RAIN GARDEN IS TO BE INSPECTED AFTER EVERY MAJOR STORM EVENT FOR THE FIRST 6 MONTHS POST CONSTRUCTION TO ENSURE PROPER INFILTRATION IS REALIZED. INSPECTION LOG TO CAPTURE THE DURATION OF STANDING WATER IN THE BASIN POST STORM AND AMOUNT OF ANY SEDIMENT BUILDUP TO DETERMINE IF BASIN IS CLOGGED. IF BASIN IS CLOGGED, CONTRACTOR TO REMOVE CLOGGED BASIN MATERIALS AND REPLACE WITH NEW. ADDITIONALLY, CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT PRIOR TO PLACING TOPSOIL AND PLANTINGS.
9. POST 6 MONTHS OF OPERATION, THE RAIN GARDEN MAINTENANCE TO CONTINUE IN ACCORDANCE WITH MOST CURRENT CONNECTICUT STORMWATER QUALITY MANUAL AND EROSION CONTROL GUIDELINES.
10. CONTRACTOR TO PERFORM FIELD PERMEABILITY TESTS BOTH PRE- AND POST-CONSTRUCTION TO CONFIRM PERCOLATION RATES WITHIN THE RAIN GARDEN REMAIN THE SAME AS DESIGNED.

The site plan illustrates the proposed rain garden and its surrounding area. Key features include:

- SILT FENCE (TYP.)**: Indicated by a dashed line along the perimeter of the construction area.
- HAYBALES (TYP.)**: Represented by a series of small circles along the silt fence.
- MATERIAL STOCKPILE AREA**: A designated area for construction materials, shown with a cross-hatched pattern.
- CONSTRUCTION ENTRANCE**: A marked point of access to the site.
- RAIN GARDEN**: A large rectangular area with a grid pattern, representing the rain garden basin.
- EXISTING INLET PROTECTION (TYP.)**: A structure at the bottom of the rain garden basin.
- 6" CHAIN LINK CONSTRUCTION FENCE/GATE**: A gate at the bottom of the rain garden basin.
- SITE TRAILER, CONSTRUCTION LAYDOWN, ETC WITHIN CONSTRUCTION FENCE**: A designated area for construction equipment and materials.
- ELEVATION POINTS**: Numerous points are marked with elevations, such as 32.80, 32.75, 32.70, 32.65, 32.60, 32.55, 32.50, 32.45, 32.40, 32.35, 32.30, 32.25, 32.20, 32.15, 32.10, 32.05, 32.00, 31.95, 31.90, 31.85, 31.80, 31.75, 31.70, 31.65, 31.60, 31.55, 31.50, 31.45, 31.40, 31.35, 31.30, 31.25, 31.20, 31.15, 31.10, 31.05, 31.00, 30.95, 30.90, 30.85, 30.80, 30.75, 30.70, 30.65, 30.60, 30.55, 30.50, 30.45, 30.40, 30.35, 30.30, 30.25, 30.20, 30.15, 30.10, 30.05, 30.00, 29.95, 29.90, 29.85, 29.80, 29.75, 29.70, 29.65, 29.60, 29.55, 29.50, 29.45, 29.40, 29.35, 29.30, 29.25, 29.20, 29.15, 29.10, 29.05, 29.00, 28.95, 28.90, 28.85, 28.80, 28.75, 28.70, 28.65, 28.60, 28.55, 28.50, 28.45, 28.40, 28.35, 28.30, 28.25, 28.20, 28.15, 28.10, 28.05, 28.00, 27.95, 27.90, 27.85, 27.80, 27.75, 27.70, 27.65, 27.60, 27.55, 27.50, 27.45, 27.40, 27.35, 27.30, 27.25, 27.20, 27.15, 27.10, 27.05, 27.00, 26.95, 26.90, 26.85, 26.80, 26.75, 26.70, 26.65, 26.60, 26.55, 26.50, 26.45, 26.40, 26.35, 26.30, 26.25, 26.20, 26.15, 26.10, 26.05, 26.00, 25.95, 25.90, 25.85, 25.80, 25.75, 25.70, 25.65, 25.60, 25.55, 25.50, 25.45, 25.40, 25.35, 25.30, 25.25, 25.20, 25.15, 25.10, 25.05, 25.00, 24.95, 24.90, 24.85, 24.80, 24.75, 24.70, 24.65, 24.60, 24.55, 24.50, 24.45, 24.40, 24.35, 24.30, 24.25, 24.20, 24.15, 24.10, 24.05, 24.00, 23.95, 23.90, 23.85, 23.80, 23.75, 23.70, 23.65, 23.60, 23.55, 23.50, 23.45, 23.40, 23.35, 23.30, 23.25, 23.20, 23.15, 23.10, 23.05, 23.00, 22.95, 22.90, 22.85, 22.80, 22.75, 22.70, 22.65, 22.60, 22.55, 22.50, 22.45, 22.40, 22.35, 22.30, 22.25, 22.20, 22.15, 22.10, 22.05, 22.00, 21.95, 21.90, 21.85, 21.80, 21.75, 21.70, 21.65, 21.60, 21.55, 21.50, 21.45, 21.40, 21.35, 21.30, 21.25, 21.20, 21.15, 21.10, 21.05, 21.00, 20.95, 20.90, 20.85, 20.80, 20.75, 20.70, 20.65, 20.60, 20.55, 20.50, 20.45, 20.40, 20.35, 20.30, 20.25, 20.20, 20.15, 20.10, 20.05, 20.00, 19.95, 19.90, 19.85, 19.80, 19.75, 19.70, 19.65, 19.60, 19.55, 19.50, 19.45, 19.40, 19.35, 19.30, 19.25, 19.20, 19.15, 19.10, 19.05, 19.00, 18.95, 18.90, 18.85, 18.80, 18.75, 18.70, 18.65, 18.60, 18.55, 18.50, 18.45, 18.40, 18.35, 18.30, 18.25, 18.20, 18.15, 18.10, 18.05, 18.00, 17.95, 17.90, 17.85, 17.80, 17.75, 17.70, 17.65, 17.60, 17.55, 17.50, 17.45, 17.40, 17.35, 17.30, 17.25, 17.20, 17.15, 17.10, 17.05, 17.00, 16.95, 16.90, 16.85, 16.80, 16.75, 16.70, 16.65, 16.60, 16.55, 16.50, 16.45, 16.40, 16.35, 16.30, 16.25, 16.20, 16.15, 16.10, 16.05, 16.00, 15.95, 15.90, 15.85, 15.80, 15.75, 15.70, 15.65, 15.60, 15.55, 15.50, 15.45, 15.40, 15.35, 15.30, 15.25, 15.20, 15.15, 15.10, 15.05, 15.00, 14.95, 14.90, 14.85, 14.80, 14.75, 14.70, 14.65, 14.60, 14.55, 14.50, 14.45, 14.40, 14.35, 14.30, 14.25, 14.20, 14.15, 14.10, 14.05, 14.00, 13.95, 13.90, 13.85, 13.80, 13.75, 13.70, 13.65, 13.60, 13.55, 13.50, 13.45, 13.40, 13.35, 13.30, 13.25, 13.20, 13.15, 13.10, 13.05, 13.00, 12.95, 12.90, 12.85, 12.80, 12.75, 12.70, 12.65, 12.60, 12.55, 12.50, 12.45, 12.40, 12.35, 12.30, 12.25, 12.20, 12.15, 12.10, 12.05, 12.00, 11.95, 11.90, 11.85, 11.80, 11.75, 11.70, 11.65, 11.60, 11.55, 11.50, 11.45, 11.40, 11.35, 11.30, 11.25, 11.20, 11.15

## GENERAL NOTES

1. EXISTING INFORMATION OBTAINED FROM THE FOLLOWING "BOUNDARY AND TOPOGRAPHIC SURVEY", 439 & 441 BOSTON POST ROAD, WATERFORD, CT, DATED JUNE 28, 2024.
2. PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM SILVER PETRUCELLI ARCHITECTURE IN DECEMBER 2024.
3. THE SITE IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP 09011C0481J, EFFECTIVE AUGUST 5, 2013. ZONE X IS AN AREA OF MINIMAL FLOOD HAZARD WITH NO BASE FLOOD ELEVATIONS.

| LEGEND                    |                                                                                     |
|---------------------------|-------------------------------------------------------------------------------------|
| PROPERTY LINE             |  |
| LIMIT OF DISTURBANCE      |  |
| SILT FENCE                |  |
| EXISTING INLET PROTECTION |  |
| PROPOSED INLET PROTECTION |  |
| PROPOSED BUILDING         |  |
| HAYBALES                  |  |
| TEMPORARY PARKING AREA    |  |
| CONSTRUCTION ENTRANCE     |  |
| PROPOSED CURB             |  |

# SOIL EROSION-SEDIMENT CONTROL NOTES

PROPOSED DEVELOPMENT

1. CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
2. THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN WITHIN THIS PLANSET. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.

**PROJECT SCHEDULE**

PHASE 1 (APPROXIMATELY SPRING 2025 – SPRING 2026):

1. SCHEDULE A PRE-CONSTRUCTION MEETING WITH TOWN STAFF
2. FLAG THE CLEARING LIMIT LINES
3. REQUEST STAFF INSPECTION (IF REQUIRED)
4. INSTALL EROSION CONTROLS FOR PHASE 1 IN THE FOLLOWING ORDER:
  - 4.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
  - 4.2. INSTALLATION OF INLET PROTECTION
  - 4.3. INSTALLATION OF TREE PROTECTION
  - 4.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
  - 4.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
5. REQUEST STAFF INSPECTION (IF REQUIRED)
6. COMPLETION OF SITE CLEARING WITHIN THE LIMITS OF PHASE 1
7. COMPLETION OF ROUGH GRADING WITHIN THE LIMITS OF PHASE 1
8. PREPARATION OF FOUNDATION AND BUILDING PAD
9. INSTALLATION OF SITE UTILITIES
10. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION WITHIN LIMITS OF PHASE 1
11. SUBSTANTIAL COMPLETION OF BUILDING FOR PHASE 1

PHASE 2 (APPROXIMATELY SPRING 2026 – SUMMER 2026):

12. INSTALL ADDITIONAL EROSION CONTROL MEASURES NEEDED FOR PHASE 2 IN THE FOLLOWING ORDER:
  - 12.1. INSTALLATION OF SILT FENCE AND STAKED HAYBALES
  - 12.2. INSTALLATION OF INLET PROTECTION
  - 12.3. INSTALLATION OF TREE PROTECTION
  - 12.4. INSTALLATION OF CONSTRUCTION FENCE AND GATES
  - 12.5. INSTALLATION OF STABILIZED CONSTRUCTION PAD
13. REQUEST STAFF INSPECTION (IF REQUIRED)
14. COMPLETE CLEARING OF SITE, INCLUDING DEMOLITION OF EXISTING FIRE STATION AND PORTION OF ROUGH GRADING OF THE SITE
15. COMPLETE INSTALLATION OF SITE UTILITIES
16. COMPLETION OF FINAL GRADING AND PAVEMENT INSTALLATION
17. COMPLETION OF RAIN GARDEN AND PRETREATMENT SWA
18. COMPLETION OF FINAL LANDSCAPING & SITE STABILIZATION IN THE FOLLOWING ORDER:
  - 19.1. INSTALLATION OF PLANTING SOIL
  - 19.2. INSTALLATION OF PLANTINGS AND TREES
  - 19.3. INSTALLATION OF STABILIZED SEED MIX
  - 19.4. CONTRACTOR TO CONFIRM ESTABLISHMENT OF SEED MIX AND PLANTINGS

THE REMOVAL OF CONSTRUCTION ERS CONTROL SYSTEMS WHEN SITE IS FULLY STABILIZED

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

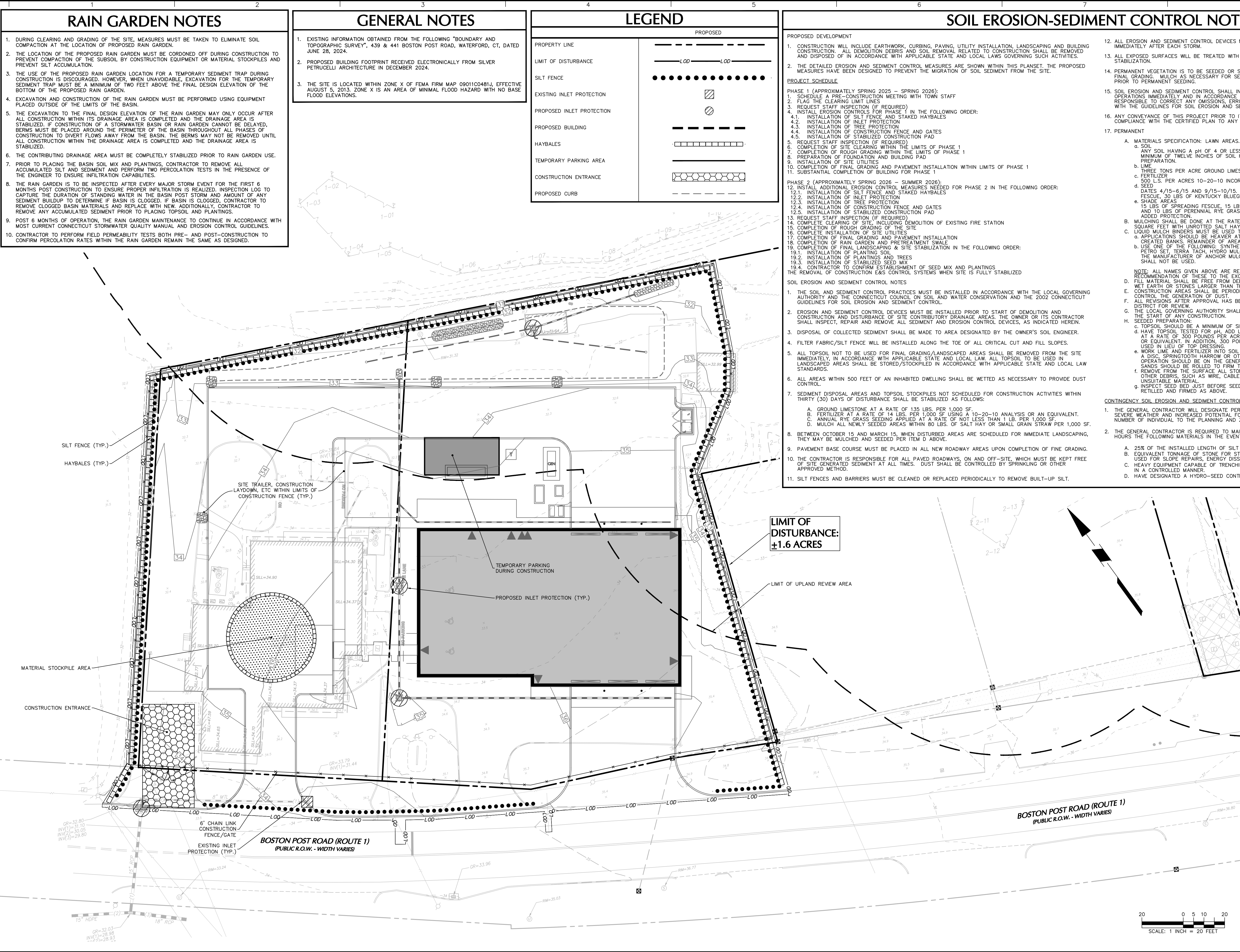
1. THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
2. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION OF THE DISTURBED AREA. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN.
3. DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
4. FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOP OF ALL CRITICAL CUT AND FILL SLOPES.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW STANDARDS.
6. ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:
  - A. GROUND LIMESTONE AT A RATE OF 135 LBS PER 1,000 SF.
  - B. FERTILIZER AT A RATE OF 14 LBS PER 1,000 SF USING A 10-20-10 ANALYSIS OR AN EQUIVALENT.
  - C. ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
  - D. MULCH ALL NEWLY SEEDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF.
8. BETWEEN OCTOBER 15 AND MARCH 15, WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING, THEY MAY BE MULCHED AND SEEDED PER ITEM D ABOVE.
9. PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
11. SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.
12. ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
13. ALL EXPOSED SURFACES WILL BE TREATED WITH TOPSOIL PER THE LANDSCAPE PLANS PRIOR TO FINAL STABILIZATION.
14. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING, MULCH OR NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZER PRIOR TO PERMANENT SEEDING.
15. SOIL EROSION AND SEDIMENT CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO, OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE ABOVE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
16. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
17. PERMANENT
  - A. MATERIALS SPECIFICATION: LAWN AREAS.
    - a. SOIL  
ANY SOIL HAVING A pH OF 4 OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
    - b. LIME  
THREE TONS PER ACRE GROUND LIMESTONE INCORPORATED FOUR INCHES INTO SOIL.
    - c. FERTILIZER  
500 LBS. PER ACRES 10-20-10 INCORPORATED FOUR INCHES INTO SOIL.
    - d. SEED  
DATES 4/15-6/15 AND 9/15-10/15, 30 LBS OF KENTUCKY 31 TALL FESCUE, 30 LBS OF SPREADING FESCUE, 30 LBS OF KENTUCKY BLUEGRASS PER ACRE.
    - e. SHADE AREAS  
15 LBS OF SPREADING FESCUE, 15 LBS OF CHEWINGS RED FESCUE, 30 LBS KENTUCKY BLUEGRASS, AND 10 LBS OF PERENNIAL RYE GRASS PER ACRE. MULCH SHOULD BE APPLIED AFTER SEEDING FOR ADDED PROTECTION.
  - B. MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNIFORM SOIL CONTACT.
  - C. LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES.
  - d. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
  - e. USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS, BINDERS SUCH AS CURASOL DCA-70, PETRO SET, TERRA TACK, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.

- D. FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.
- E. CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.
- F. ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.
- G. THE LOCAL DISTRICT AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.
- H. SEEDING PREPARATION:
  - a. TOPSOIL SHALL BE TO A MINIMUM OF SIX INCHES DEEP (COMPACTED) BEFORE SEEDING.
  - b. HAVE TOPSOIL TESTED FOR pH, AND LIME AS NECESSARY TO ACHIEVE pH OF 6.5. APPLY FERTILIZER AT A RATE OF 300 POUNDS PER ACRE OR SEVEN POUNDS PER 4,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP DRESSING.
  - c. WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTINE, OR SIMILAR AVAILABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTROL. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
  - d. REMOVE FROM THE SURFACE ALL STONES OR OTHER LARGE OR LONGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
  - e. INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

**CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE**

1. THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION. CONTRACTOR TO PROVIDE NAME AND PHONE NUMBER OF INDIVIDUAL TO THE PLANNING AND ZONING COMMISSION PRIOR TO THE START OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SESC MEASURES:
  - A. 25% OF THE INSTALLED LENGTH OF SILT FENCE
  - B. EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 1 STABILIZATION ENTRANCE. STONE COULD BE USED FOR SLOPE REPAIRS, ENERGY DISSIPATER ENHANCEMENTS, ETC.
  - C. HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF IN A CONTROLLED MANNER.
  - D. HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS

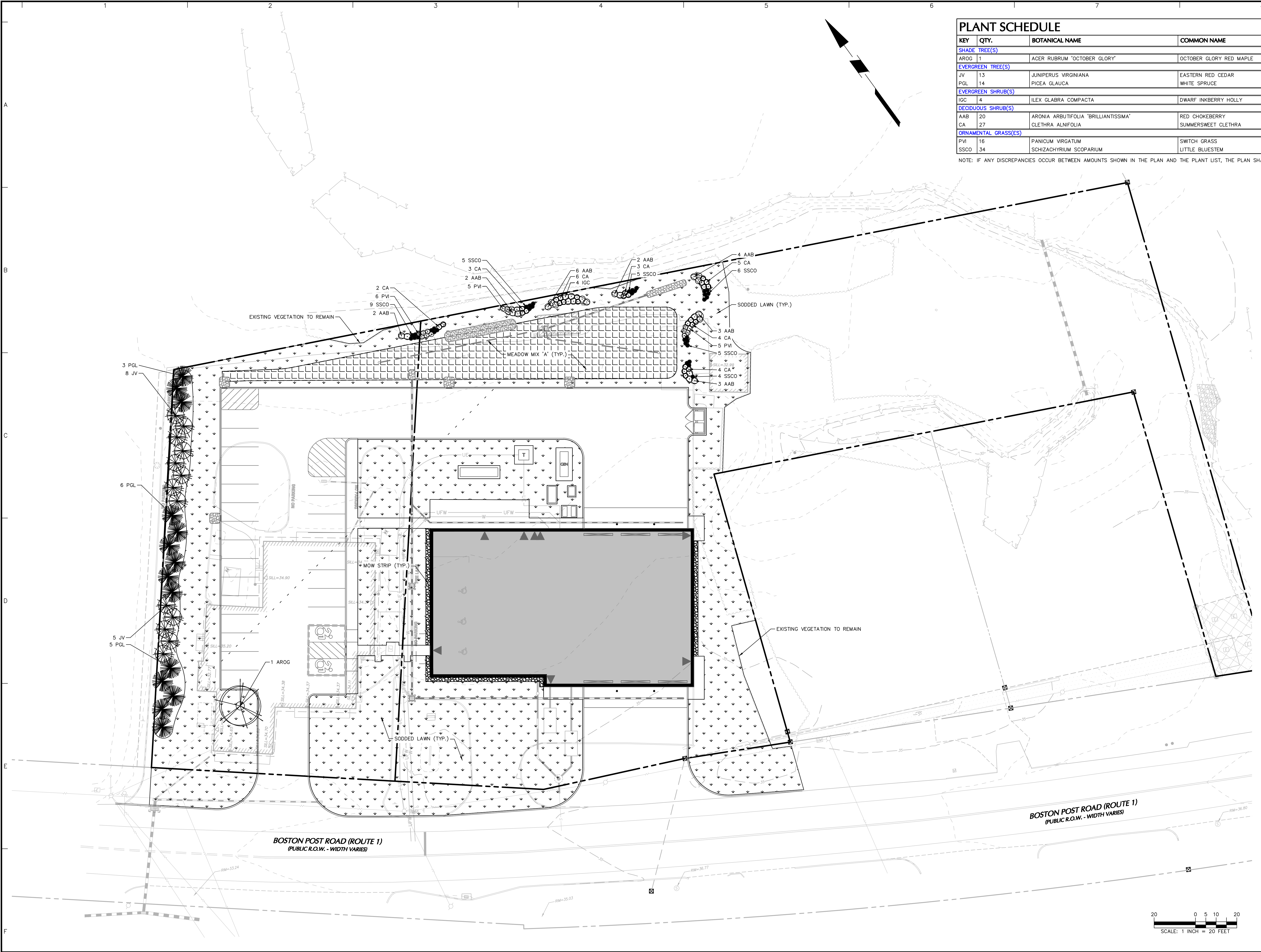


|                                                                                                                                                                                                               |             |                |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------------|
| Date                                                                                                                                                                                                          | Description | No.            |
| Revisions                                                                                                                                                                                                     |             |                |
|                                                                                                                          |             |                |
| <div><h1>LANGAN</h1><p>Langan CT, Inc.<br/>555 Long Wharf Drive, 9th Floor<br/>New Haven, CT 06511<br/>T: 203.562.5771      F: 203.789.6142      <a href="http://www.langan.com">www.langan.com</a></p></div> |             |                |
| Project                                                                                                                                                                                                       |             |                |
| <div><h2>OSWEGATCHIE FIRE STATION</h2></div>                                                                                                                                                                  |             |                |
| WATERFORD                                                                                                                                                                                                     |             | CONNECTICUT    |
| Drawing Title                                                                                                                                                                                                 |             |                |
| <div><h1>EROSION CONTROL/<br/>CONSTRUCTION PLAN 2</h1></div>                                                                                                                                                  |             |                |
| Project No.                                                                                                                                                                                                   |             | Drawing No.    |
| 140286501                                                                                                                                                                                                     |             | CE102          |
| Date                                                                                                                                                                                                          |             |                |
| 2/7/2025                                                                                                                                                                                                      |             |                |
| Drawn By                                                                                                                                                                                                      |             |                |
| APF                                                                                                                                                                                                           |             |                |
| Checked By                                                                                                                                                                                                    |             | Sheet 10 of 15 |
| BP                                                                                                                                                                                                            |             |                |







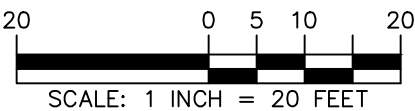


PLANT SCHEDULE

| KEY                  | QTY. | BOTANICAL NAME                       | COMMON NAME             | SIZE          | ROOT      | REMARKS |
|----------------------|------|--------------------------------------|-------------------------|---------------|-----------|---------|
| SHADE TREE(S)        |      |                                      |                         |               |           |         |
| AROG                 | 1    | ACER RUBRUM 'OCTOBER GLORY'          | OCTOBER GLORY RED MAPLE | 2 1/2-3" CAL. | B+B       | -       |
| EVERGREEN TREE(S)    |      |                                      |                         |               |           |         |
| JV                   | 13   | JUNIPERUS VIRGINIANA                 | EASTERN RED CEDAR       | 6-7"          | B+B       | -       |
| PGL                  | 14   | PICEA GLAUCA                         | WHITE SPRUCE            | 6-7"          | B+B       | -       |
| EVERGREEN SHRUB(S)   |      |                                      |                         |               |           |         |
| IGC                  | 4    | ILEX GLABRA COMPACTA                 | DWARF INKBERRY HOLLY    | 18-24"        | CONTAINER | -       |
| DECIDUOUS SHRUB(S)   |      |                                      |                         |               |           |         |
| AAB                  | 20   | ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA' | RED CHOKEBERRY          | 18-24"        | CONTAINER | -       |
| CA                   | 27   | CLETHRA ALNIFOLIA                    | SUMMERSWEET CLETHRA     | 18-24"        | CONTAINER | -       |
| ORNAMENTAL GRASS(ES) |      |                                      |                         |               |           |         |
| PVI                  | 16   | PANICUM VIRGATUM                     | SWITCH GRASS            | 2 GAL.        | CONTAINER | -       |
| SSCO                 | 34   | SCHIZACHYRIUM SCOPARIUM              | LITTLE BLUESTEM         | 2 GAL.        | CONTAINER | -       |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

|                                                                                                                             |             |                              |
|-----------------------------------------------------------------------------------------------------------------------------|-------------|------------------------------|
| Date                                                                                                                        | Description | No.                          |
| Revisions                                                                                                                   |             |                              |
|                                                                                                                             |             |                              |
| <b>LANGAN</b>                                                                                                               |             |                              |
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| Project<br><b>OSWEGATCHIE FIRE STATION</b>                                                                                  |             |                              |
| WATERFORD CONNECTICUT<br>Drawing Title                                                                                      |             |                              |
| <b>PLANTING PLAN</b>                                                                                                        |             |                              |
| Project No.<br><b>140286501</b>                                                                                             |             | Drawing No.<br><b>LP101</b>  |
| Date<br><b>2/7/2025</b>                                                                                                     |             | Sheet <b>12</b> of <b>15</b> |
| Drawn By                                                                                                                    |             |                              |
| Checked By                                                                                                                  |             |                              |





## GENERAL LANDSCAPE PLANTING NOTES

1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
3. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIES AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSTS THE MAIN LEADER SHALL BE REPLACED.
4. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
5. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE, DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
7. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 – JUNE 15 OR SEPT 1 – OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.
8. ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
10. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
11. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
12. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
13. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
14. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, MISSING 25% OR MORE DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSUITABLE AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
16. DELIVERY, STORAGE, AND HANDLING:  
a. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
17. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BRING THE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP SHALD AND BURGLAPPED STOCK DURING DELIVERY OR HANDLING.
18. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED. ALL ROOT BOUND, ALL ROOTS MUST BE REMOVED FROM THE TOP OF THE BALL. AT THE TIME OF PLANTING, IF THE PLANT IS SHIPPED WITH A WIRE BASKET, THE CONTRACTOR SHALL REMOVE THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
19. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
20. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSUITABLE DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
21. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
22. CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
23. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
24. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-48 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH. CONTRACTOR SHALL CONFIRM WATER SOURCE WITH OWNER PRIOR TO SOI AND INCLUDE ALTERNATE MEANS OF WATERING IF NECESSARY.
25. ON-SITE WATER SHALL BE FURNISHED BY THE CONTRACTOR. HOSE AND OTHER WATERING EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR.
26. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
27. ALL TREES MUST BE GUYED OR STAKED IF REQUIRED BY ORDNANCE, IF LOCATED ON A SLOPE 3:1 OR GREATER, OR IF THE SITE IS LOCATED IN A HIGH WIND ZONE.
28. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHALL BE A FIBROUS SHREDED HARDWOOD MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING WORK. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN, THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
30. LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONSERVATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED, OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST REPORT HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.
31. CONTRACTOR SHALL ASSESS THE NEED FOR ANIMAL PROTECTION ON SITE. IF DEEMED NECESSARY, TREES SHALL BE PROTECTED AS NECESSARY.
32. ALL SLOPES 3:1 OR GREATER AND ALL SLOPED AREAS 500 STRIPS TO BE LAYED OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.
33. SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1 1/2") PER WEEK UNTIL ROOT MASS MENDS WITH SOIL. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.
34. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

## SOD SPECIFICATIONS

1. SOD TO BE 100% TURF TYPE TALL FESCUE BLACK BEAUTY AS GROWN BY SODCO (OR APPROVED EQUIVALENT), AREA TO FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.
2. PRIOR TO SODDING, ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.
3. ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.
4. SOD TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAYED OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.
5. SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1 1/2") PER WEEK UNTIL ROOT MASS MENDS WITH SOIL. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.
6. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

## PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATIVELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA. IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
2. PLANTING SOIL:  
a. MOIST SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFIC SOILS.  
b. AT A MINIMUM, PLANTING SOILS MEETING THESE SPECIFICATIONS MAY BE OBTAINED FROM WECARE DENALI, P-888-325-1522, OR APPROVED EQUAL. CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNWEIGHED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER. MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS, SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF ACTUAL USE.  
c. ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE ALL OR THE LATEST IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.  
d. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:  
i. WHERE A PERMANENT IRRIGATION SYSTEM IS PLANNED:  
a. PARTICLE SIZE ANALYSIS – LOAMY SAND: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY.  
b. GRAVEL CONTENT (20mm) – LESS THAN 10%  
c. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (0.2 to 1.5 MMH/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM  
d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS  
e. TOXIC SUBSTANCE ANALYSIS  
f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED  
g. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SEIVE  
ii. WHERE NO PERMANENT IRRIGATION IS PLANNED:  
a. PARTICLE SIZE ANALYSIS – LOAM: 40-65% SAND, 25-60% SILT, AND 5-20% CLAY.  
b. GRAVEL CONTENT (20mm) – LESS THAN 10%  
c. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (0.2 to 1.5 MMH/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM  
d. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS  
e. TOXIC SUBSTANCE ANALYSIS  
f. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED  
g. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SEIVE  
iii. C. SOILS FOR BASINS (BIO-RETENTION, INFILTRATION, ETC.) AND BIOSWALS SHALL BE TESTED FOR COMPLIANCE WITH THE CIVIL ENGINEERING SPECIFICATIONS, OR OTHERWISE THE BEST MANAGEMENT PRACTICES MANUAL FOR THE RESPECTIVE STATE IN WHICH THE PROJECT IS LOCATED.
3. SOIL AMENDMENT FOR PLANT MATERIAL:  
a. IF SOIL, ORGANIC CONTENT, OR MOISTURE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE WEED FREE, ORGANIC MATTER, ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8, MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SEIVE, SOLUBLE SALT CONTENT LESS THAN 0.5 MMH/CM, MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILLS.  
b. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT, SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".  
c. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.  
d. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:  
i. GROUND LIMESTONE (WITH A MIN. OF 8% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.  
ii. BRING PH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-EROSIONARY PLANTS  
iii. BRING PH LEVELS TO 4.5 MIN. TO 5.5 FOR EROSIONARY PLANTS  
iv. TERRA-SORB BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.  
v. MYCOR-RHIZOM SAVING BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.  
e. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.  
f. CLEAN SOIL FILL IN LANDSCAPE AREAS:  
i. LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 – 7.  
g. SOIL PLACEMENT:  
i. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUND COVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.  
ii. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES, THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL. AT THE DEPTHS INDICATED ABOVE, PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.  
iii. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.  
h. SOIL CONDITIONS:  
i. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 98% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SEIVE, MINIMUM 60% PASSING THE 20 MESH SEIVE, AND MINIMUM 60% PASSING 100 MESH SEIVE.  
ii. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.  
iii. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):  
a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN MOISTURE. PLANTING SOILS MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. LEAF OR WOOD STRUCTURE, AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.  
b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR CYPRESS COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.  
c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

## LANDSCAPE MAINTENANCE NOTES

1. MAINTENANCE OPERATIONS BEFORE APPROVAL:  
a. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.  
b. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS NECESSARY, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.  
c. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
2. MAINTENANCE DURING CONSTRUCTION:  
a. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD WAKES AND WINDS SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.  
b. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.  
c. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.  
d. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.  
e. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. A PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.

## MEADOW SEED NOTES

MEADOW SEED MIX-A ERNST SEED MIX ERNMX-183 "NATIVE DETENTION AREA MIX"

26% PANICUM CLANDESTINUM, "TOGA"  
25% PANICUM VIRGATUM, "SHELTER"  
20% CAREX VULPINOIDEA  
20% ELYMUS VIRGINICUS  
4% AGROSTIS PERENNANS  
3% JUNCUS EFFRUSUS  
1% JUNCUS TENUIS  
1% PANICUM RIGIDULUM

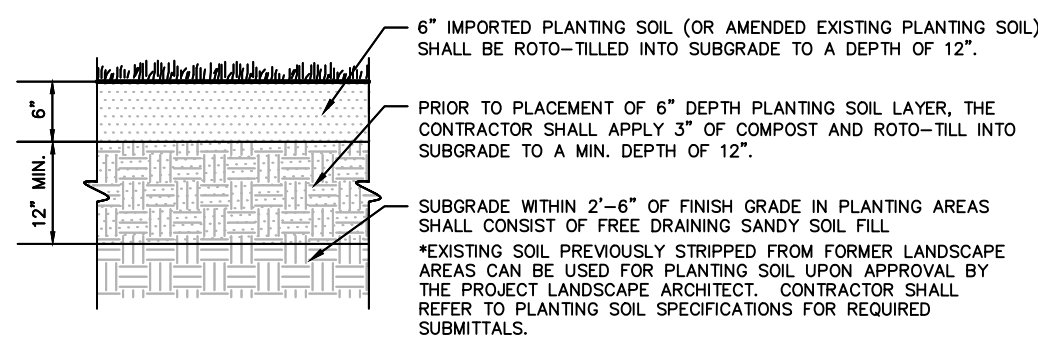
NOTES:  
1. SEED AT A RATE OF 20 LBS/ACRE OF 100% PURE LIVE SEED.

### GENERAL SEEDING NOTES:

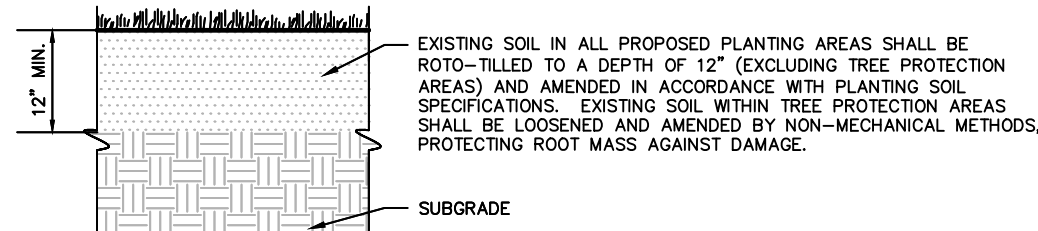
1. SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).
  2. ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A GLYPHOSATE-BASED HERBICIDE PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ENSURE HERBICIDE IS INDICATED FOR USE AROUND WATER BODIES.
  3. IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE.
  4. THERE MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW PROPER GERMINATION.
- WEED CONTROL / MAINTENANCE
1. DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW AT A HEIGHT OF 8"-10". DO NOT MOW CLOSE, AS SOME OF THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER DURING THE MONTH OF MARCH.
  2. AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED, THE MEADOW MIX SHALL BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER DURING THE MONTH OF MARCH.
  3. MOW IN DETENTION BASIN AND WETLAND TRANSITION AREAS DURING DRIER SITE CONDITIONS WHEN SOIL DISTURBANCE WILL NOT OCCUR. MAINTENANCE FOR DETENTION BASIN AND WETLAND TRANSITION AREAS SHALL OCCUR DURING LATE SUMMER (JULY 15 – AUGUST 15) WHEN THE WATER TABLE IS USUALLY AT ITS LOWEST POINT OF THE YEAR. DO NOT MOW IN DETENTION BASIN, WETLAND OR WETLAND TRANSITION AREAS AFTER ESTABLISHMENT OF MEADOW MIX.

### GENERAL NOTE:

DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.



### IMPORTED OR AMENDED EXISTING PLANTING SOIL WITHIN AREAS OF RAISED GRADE



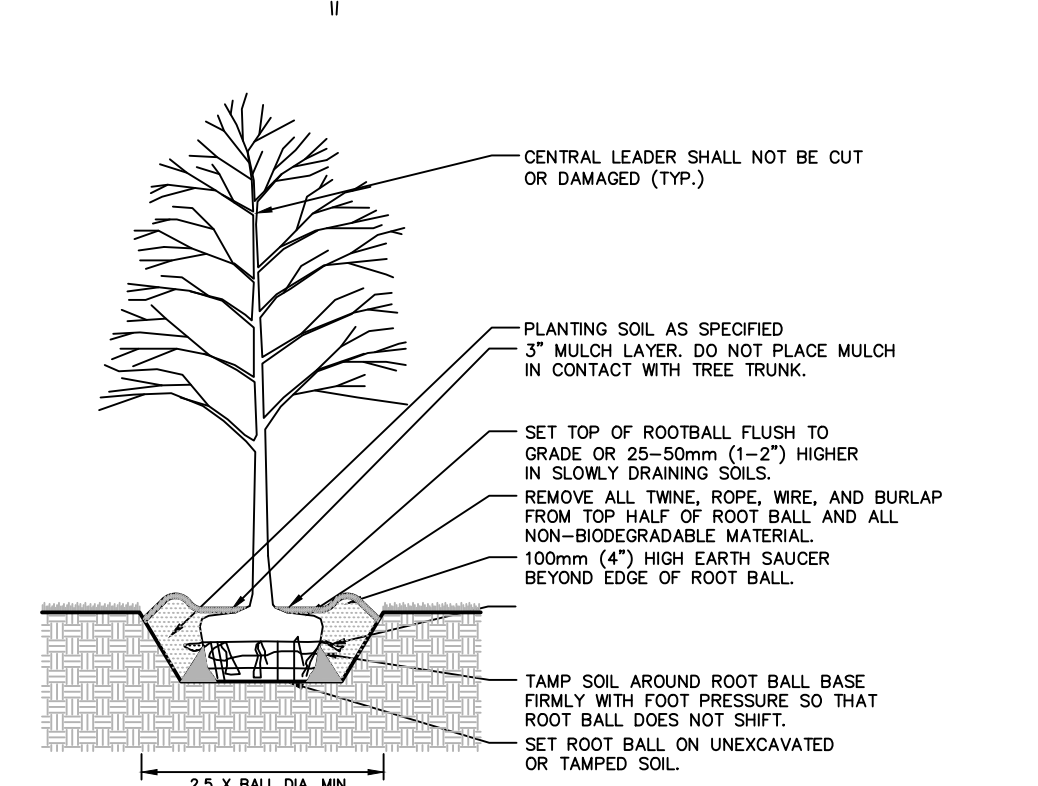
### AMENDED EXISTING PLANTING SOIL WITHIN AREAS OF UNCHANGED OR CUT GRADE

#### NOTES:

1. CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
2. RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
3. IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE PROJECT STATE ENVIRONMENTAL REVIEW AGENCY STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT, IF APPLICABLE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF FILL TO THE SITE.
4. CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.).
5. NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

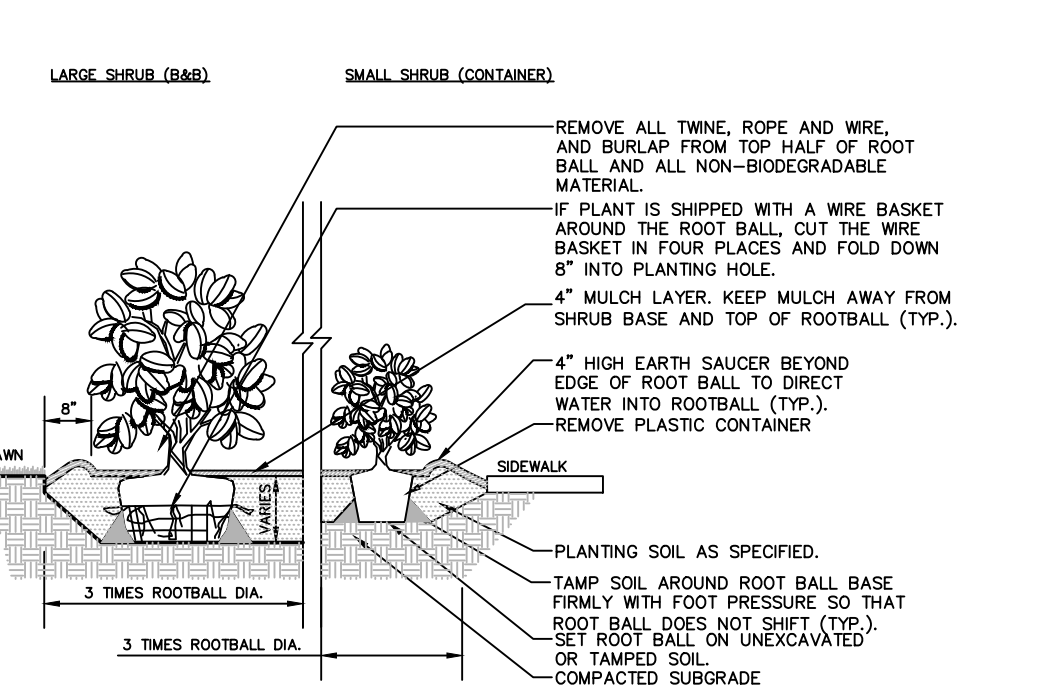
## 1 PLANTING SOIL

### II



## 2 DECIDUOUS TREE PLANTING

### NTS



- NOTES:  
1. ALL SHRUBS TO BE SET PLUMB.  
2. REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.  
3. REMOVE ALL WIRE, PLASTIC, TIES OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

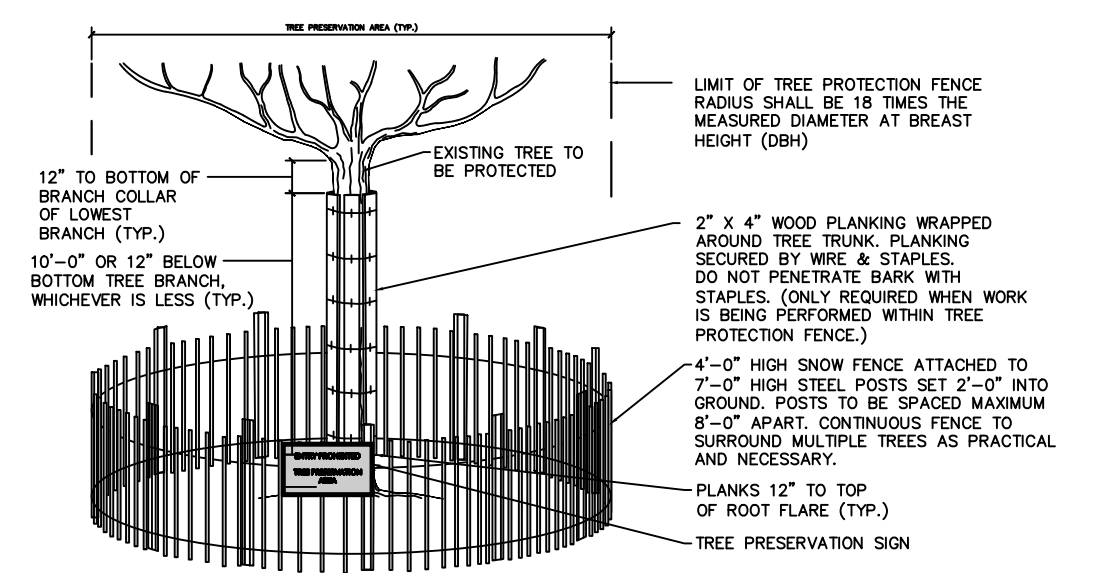
## 3 SHRUB PLANTING

### NTS



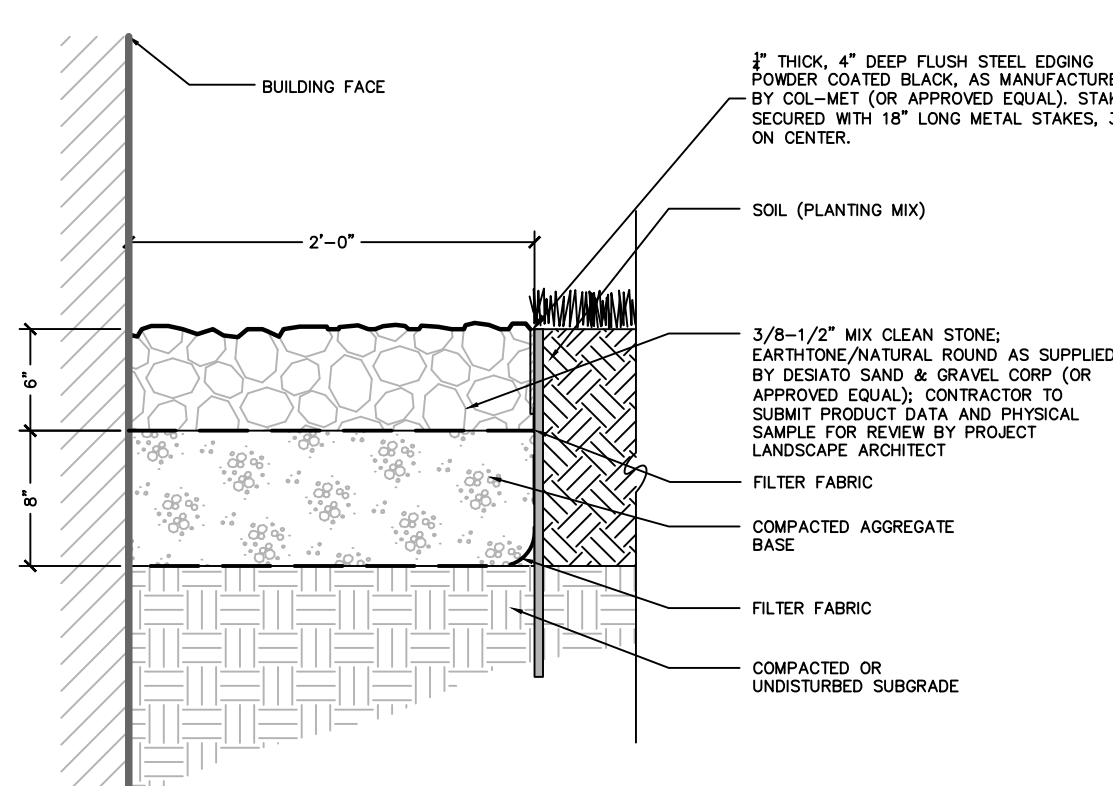
## TREE PROTECTION NOTES:

1. ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE SHALL BE 10 FT BEYOND THE DRIP LINES, UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
2. TREE PROTECTION PLANNING SHALL BE INSTALLED ON ALL EXISTING TREES WHERE WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO DETAIL ON THIS SHEET.
3. IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
4. TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE IMMEDIATELY REPLACED.
5. DEMOLITION WORK WITHIN THE TREE PROTECTION FENCE OF PROTECTED TREES SHALL BE PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE EXPOSED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS.
6. ALL TEMPORARILY EXPOSED TREE ROOTS SHALL BE COVERED WITH 2 INCHES OF SHREDDED HARDWOOD MULCH AND THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
7. ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S REPRESENTATIVE OR THE PROJECT LANDSCAPE ARCHITECT.
8. ALL AREAS WHERE NATURAL VEGETATION AND/OR SPECIMEN TREES ARE TO REMAIN SHALL BE PROTECTED BY THE DIRECTION OF FENCING, AND NO DISTURBANCE SHALL OCCUR PRIOR TO INSPECTION BY THE TOWNSHIP ENGINEER AND THE ISSUANCE OF WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION. THESE PROTECTIVE MEASURES SHALL NOT BE ALTERED OR REMOVED WITHOUT APPROVAL OF THE MUNICIPAL ENGINEER.



## 4 TREE PROTECTION FENCING AND TREE PLANKING

### NTS



## 5 MOW STRIP

### NTS

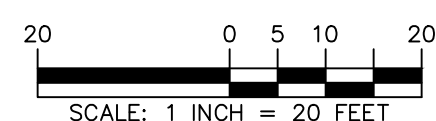


| Date                                                   | Description     | No.            |
|--------------------------------------------------------|-----------------|----------------|
| Revisions                                              |                 |                |
|                                                        |                 |                |
| <b>LANGAN</b>                                          |                 |                |
| Langan CT, Inc.                                        |                 |                |
| 555 Long Wharf Drive, 9th Floor<br>New Haven, CT 06511 |                 |                |
| T: 203.562.5771                                        | F: 203.789.6142 | www.langan.com |
| Project                                                |                 |                |
| <b>OSWEGATCHIE FIRE STATION</b>                        |                 |                |
| WATERFORD CONNECTICUT                                  |                 |                |
| Drawing Title                                          |                 |                |
| <b>PLANTING DETAILS</b>                                |                 |                |
| Project No.                                            | Drawing No.     |                |
| 140286501                                              |                 |                |
| Date                                                   | 2/7/2025        |                |
| Drawn By                                               | LP501           |                |
| Checked By                                             |                 |                |
|                                                        |                 | Sheet 13 of 15 |



NOTE:  
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING LIGHTING ARE NOT MODELED OR INCLUDED IN THE ABOVE STATISTICS.



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POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA ILLUMINANCE AND FOOT CANDLE REQUIREMENTS. THESE NOTES AND SITE LIGHTING SCHEDULE, THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE. USUAL VARIATIONS OF ACCESSORY LIGHTS, PLANT GROWTH, WEATHER, LAMP DEGRADATION AND NATURAL BUILDUP ON THE FIXTURE LENSES. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY ACCEPTABLE LFL TO THE WORK AREA. THE VALUES SHOWN OVER YEARS OF USE AND WEAR. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS SHOWN ON THESE DRAWINGS.

2. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CONSTRUCTION PLACE CONDITIONS.

3. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING CONSTRUCTION.

CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION, INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.

5. AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.

6. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING ARCHITECT, ARCHITECT, AND/OR OWNER.

7. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK ORDERED TO BE COMPLETED WITHIN THE PROPOSED WORK.

POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA ILLUMINANCE AND FOOT CANDLE REQUIREMENTS. THESE NOTES AND SITE LIGHTING SCHEDULE, THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, LAMP DEGRADATION, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS SHOWN ON THESE DRAWINGS.

9. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNMENT CODES, ORDINANCES, AND REGULATIONS.

10. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.

11. SITE ELECTRICAL CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO INSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.

12. SITE ELECTRICAL CONTRACTOR SHALL CONFIRM THAT LIGHT FIXTURES MATCH SPECIFICATIONS ON THE PLANS.

13. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER TO SITE LIGHTING.

14. SITE ELECTRICAL CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES CONCERNING SOIL CONDITIONS AND HOUSING DESCRIPTION.

15. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.

16. ELECTRICIAN AND INSTALLATION OF WALL MOUNTED FIXTURES SHALL BE COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND SITE DRAINAGE FOR SAFETY AND TO PROVEN EXISTING WIRING.

17. LIGHTING SUBSTITUTION REQUIREMENTS:  
ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE ADEQUATE TIME FOR THE OWNER TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:

A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND ARCHITECT. ANY CHANGES WITHIN THE PROJECT, BEFORE OR AFTER APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR

B. COMPUTER PREPARED PHOTOMETRIC ANALYSIS OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY DATE, THE FOLLOWING: LUMINAIRE, LAMP, FOOT CANDLE, AND PERFORMANCE DATA.

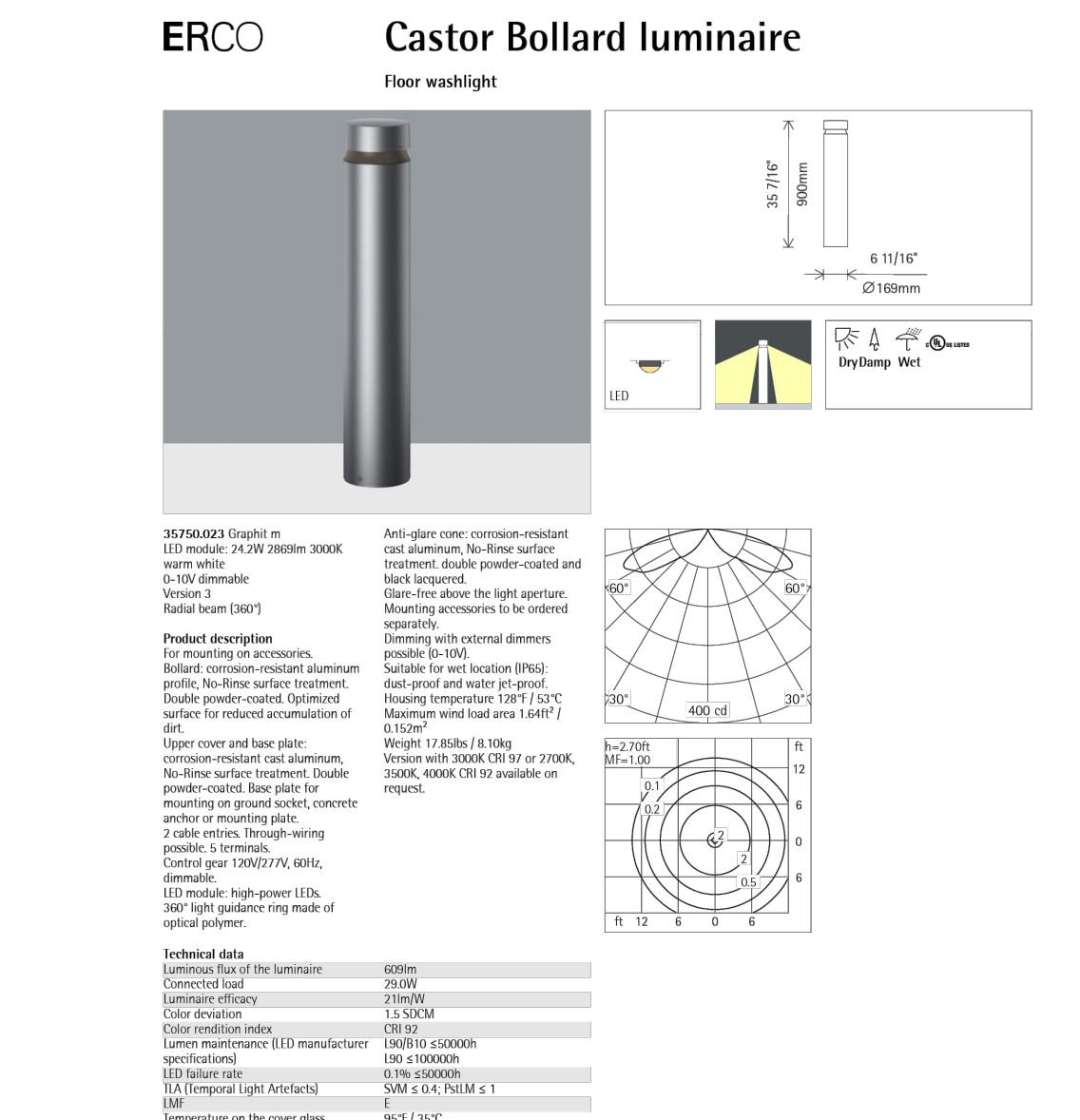
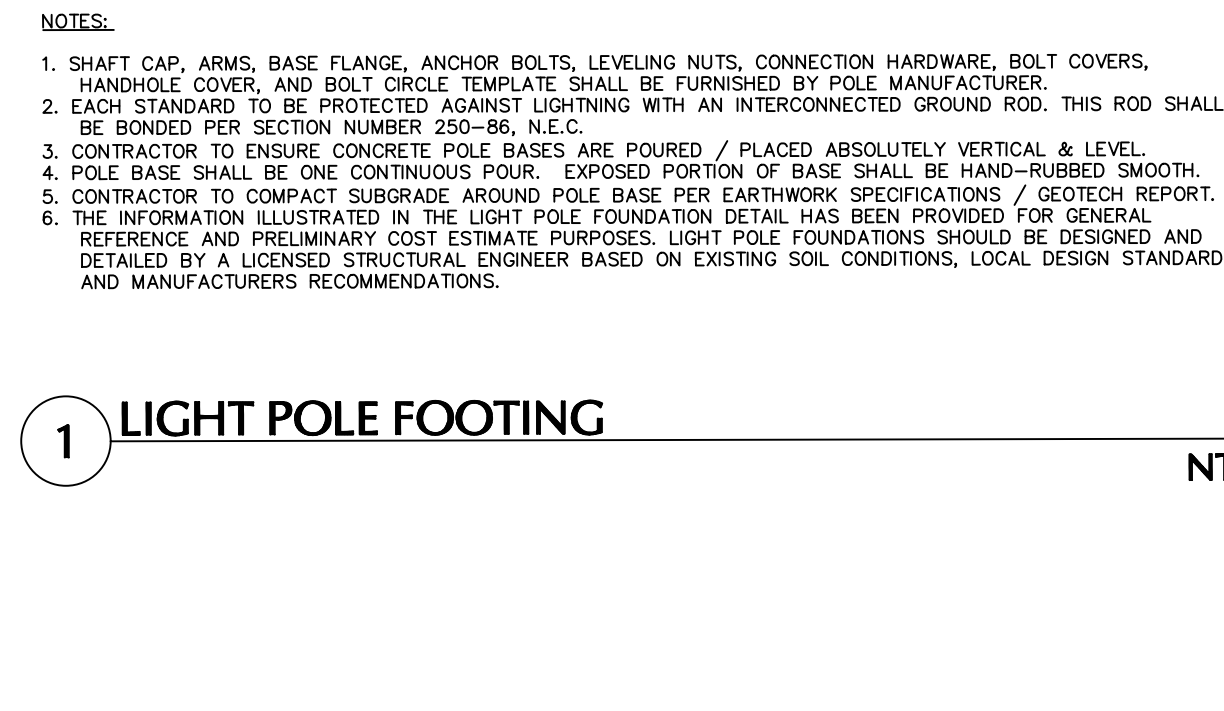
C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, CANDLEPOWER DISTRIBUTION, BEAM ANGLE, BEAM SPREAD, LAMP VOLTAGE, LAMP TYPE, CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, BALLAST TYPE, HOUSING, AND HOUSING DESCRIPTION.

D. POLE MANUFACTURER ASHITO CATALOGS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE PROJECT REQUIREMENTS.

E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.

F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

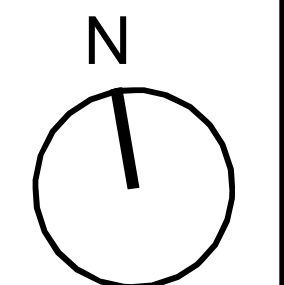
18. PHOTOMETRIC LIGHTING TEMPLATE:





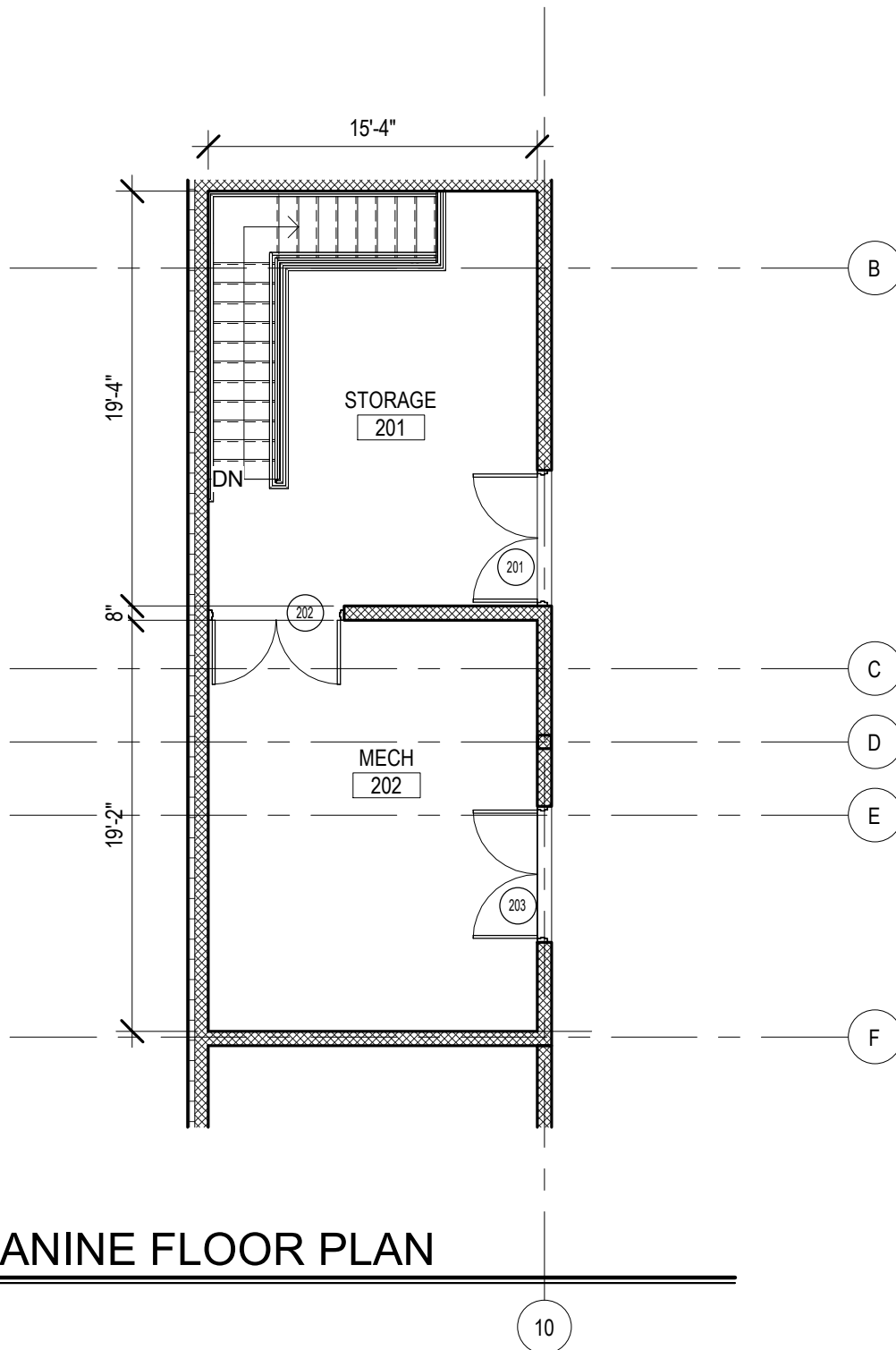
| SYMBOL LEGEND |                                 |
|---------------|---------------------------------|
|               | - NEW METAL STUD PARTITIONS     |
|               | - NEW MASONRY WALL              |
|               | - NEW CMU WALL                  |
|               | - DOOR NUMBER                   |
|               | - WINDOW TYPE                   |
|               | - ROOM NAME                     |
|               | - ROOM NUMBER                   |
|               | - PARTITION TYPE                |
|               | - CONSTRUCTION NOTE             |
|               | - EXTERIOR ELEVATION NUMBER     |
|               | - SHEET NUMBER                  |
|               | - INTERIOR ELEVATION NUMBER     |
|               | - SHEET NUMBER                  |
|               | - BUILDING SECTION NUMBER       |
|               | - SHEET NUMBER                  |
|               | - WALL SECTION NUMBER           |
|               | - SHEET NUMBER                  |
| C.G.          | - CORNER GUARD                  |
| F.E.C.        | - FIRE EXTINGUISHER CABINET     |
| FD            | - FLOOR DRAIN - SLOPE TO DRAIN  |
| H.D.F.        | - HANDICAPPED DRINKING FOUNTAIN |

- GENERAL NOTES**
1. READ ALL GENERAL NOTES ON DRAWING A001.
  2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS.
  3. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE MASONRY UNITS AND METAL FRAMING UNLESS OTHERWISE NOTED.
  4. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
  5. PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED CORNERS. WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL.
  - 6.



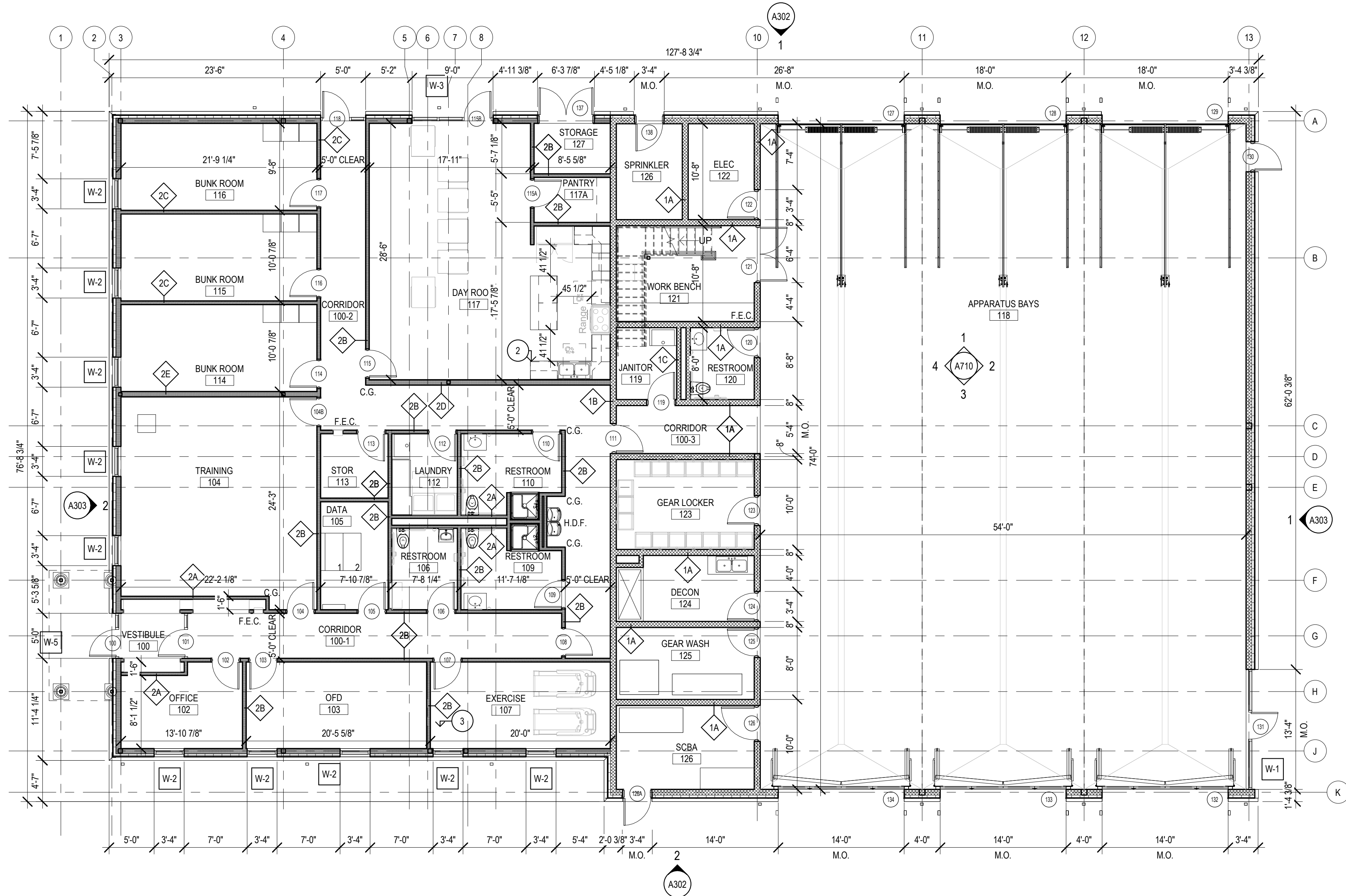
## 2 MEZZANINE FLOOR PLAN

1/8" = 1'-0"



## 1 FIRST FLOOR PLAN

1/8" = 1'-0"

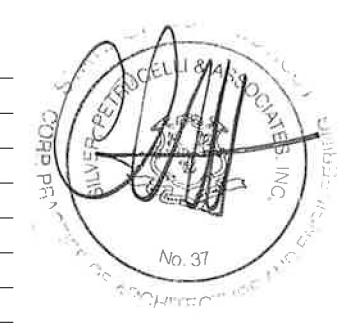


Project Title:  
NEW CONSTRUCTION  
OSWEGATCHIE FIRE STATION  
441 BOSTON POST RD  
WATERFORD, CT 06385



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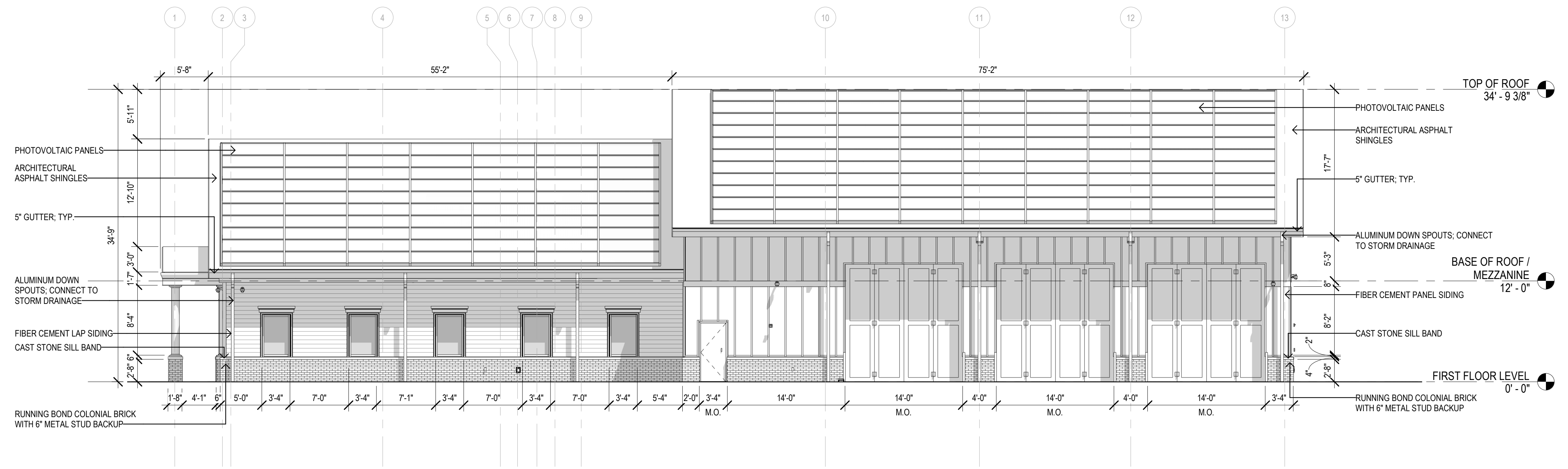
Revision: Description: Date: Revised By:



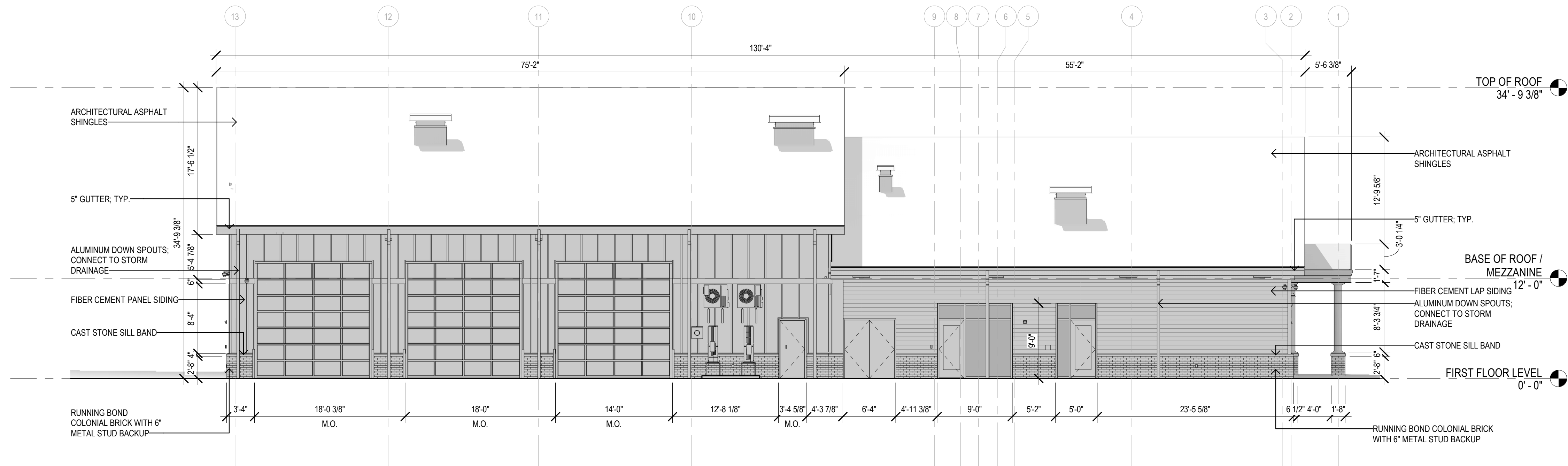
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Project Phase:  
**100% DESIGN DEVELOPMENT**  
Drawn By:  
State Project Number:

Date:  
01/24/25  
Scale:  
As indicated  
EAC  
Project Number:  
23.362  
Drawing Number:  
**A100**





**2 SOUTH ELEVATION**  
1/8" = 1'-0"



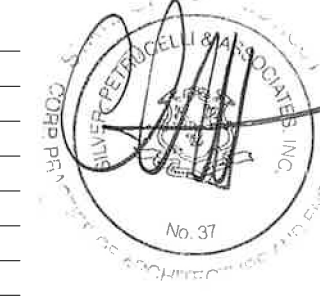
**1 NORTH ELEVATION**  
1/8" = 1'-0"

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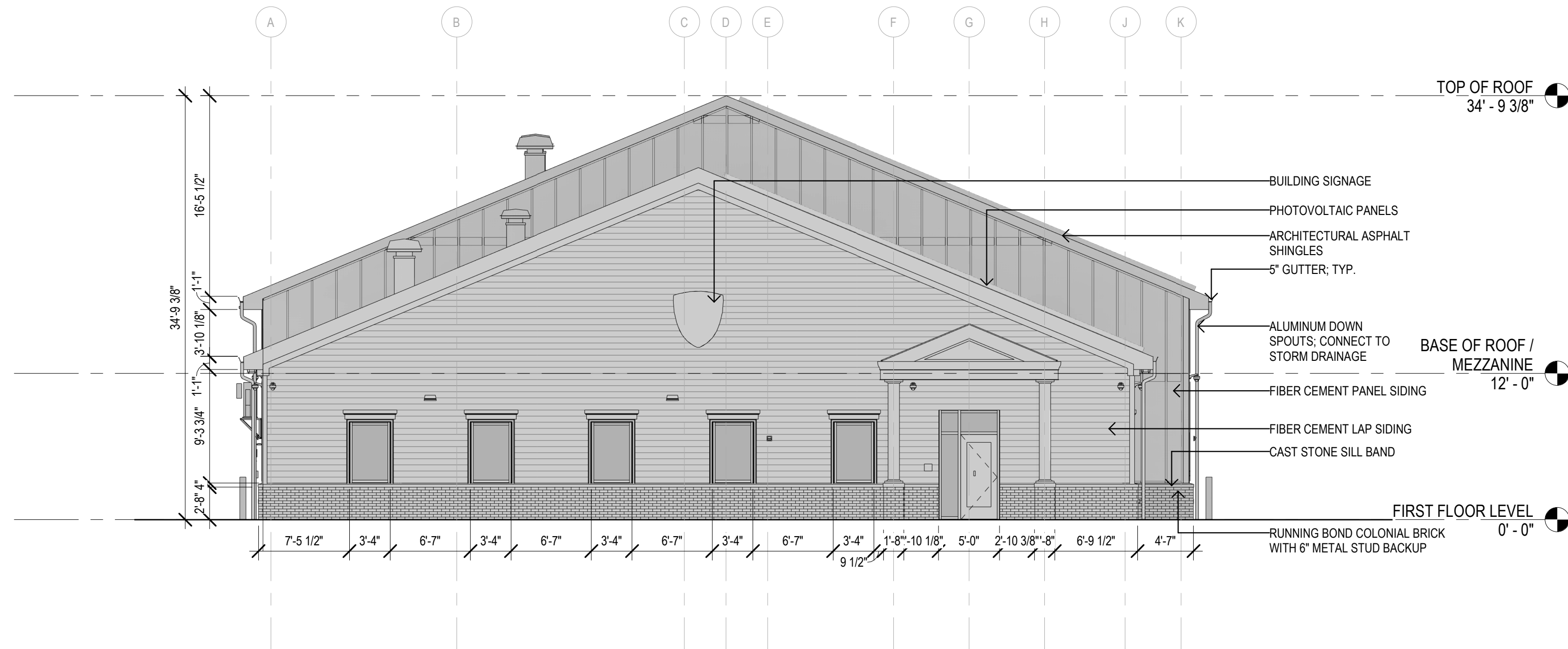


Drawing Title:  
**EXTERIOR ELEVATIONS**  
Project Phase:  
**100% DESIGN DEVELOPMENT**  
State Project Number:

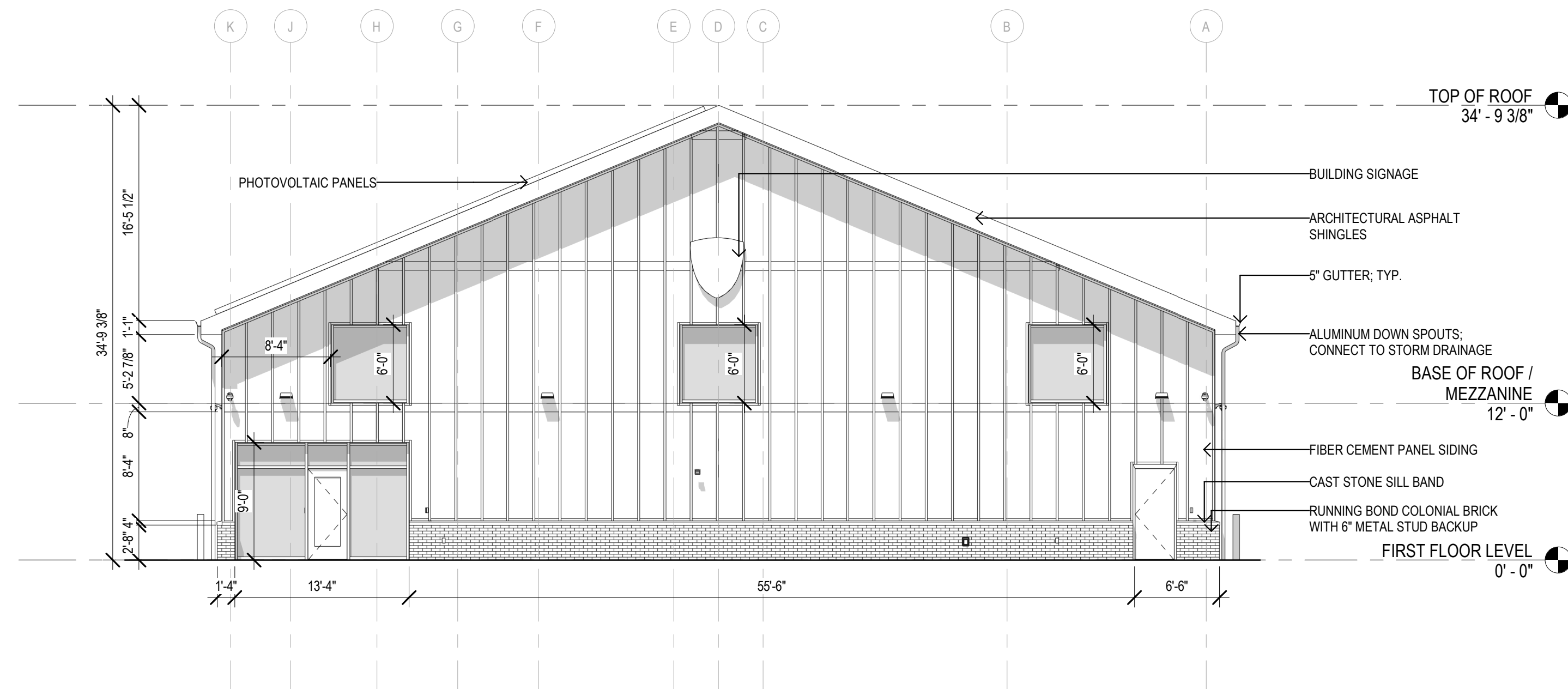
Date:  
01/24/25  
Scale:  
1/8" = 1'-0"  
Drawn By:  
EAC  
Project Number:  
23.352

**A302**





**2 WEST ELEVATION**  
1/8" = 1'-0"



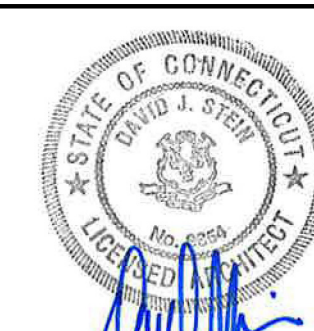
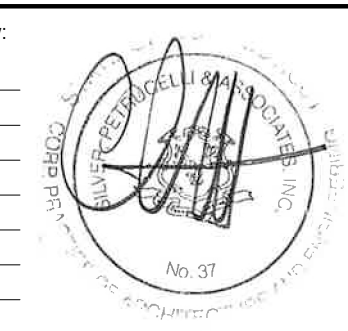
**1 EAST ELEVATION**  
1/8" = 1'-0"

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Drawing Title:  
**EXTERIOR ELEVATIONS**  
Project Phase:  
**100% DESIGN DEVELOPMENT**  
State Project Number:

Date:  
01/24/25  
Scale:  
1/8" = 1'-0"  
Drawn By:  
EAC  
Project Number:  
23.362

Drawing Number:  
**A303**



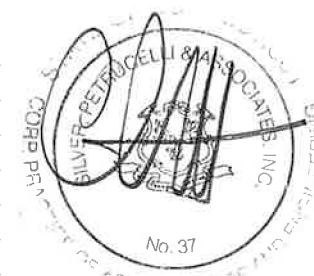


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Drawing Title:  
**3D VIEW**  
Project Phase:  
**100% DESIGN DEVELOPMENT**  
State Project Number:  
23.362

Date:  
01/24/25  
Scale:  
   
Drawn By:  
EC  
Project Number:  
23.362  
Drawing Number:  
**A304**



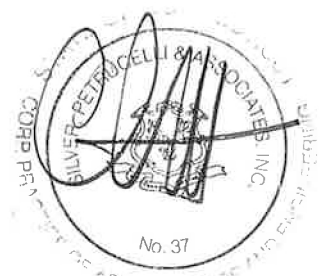


Project Title:  
NEW CONSTRUCTION  
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WATERFORD, CT 06385



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| Revision: | Description: | Date: | Revised By: |
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|           |              |       |             |
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Drawing Title:  
**3D VIEW**  
Project Phase:  
**100% DESIGN DEVELOPMENT**  
State Project Number:  
23.362

Date:  
01/24/25  
Scale:  
   
Drawn By:  
EC  
Project Number:  
23.362

Drawing Number:  
**A305**