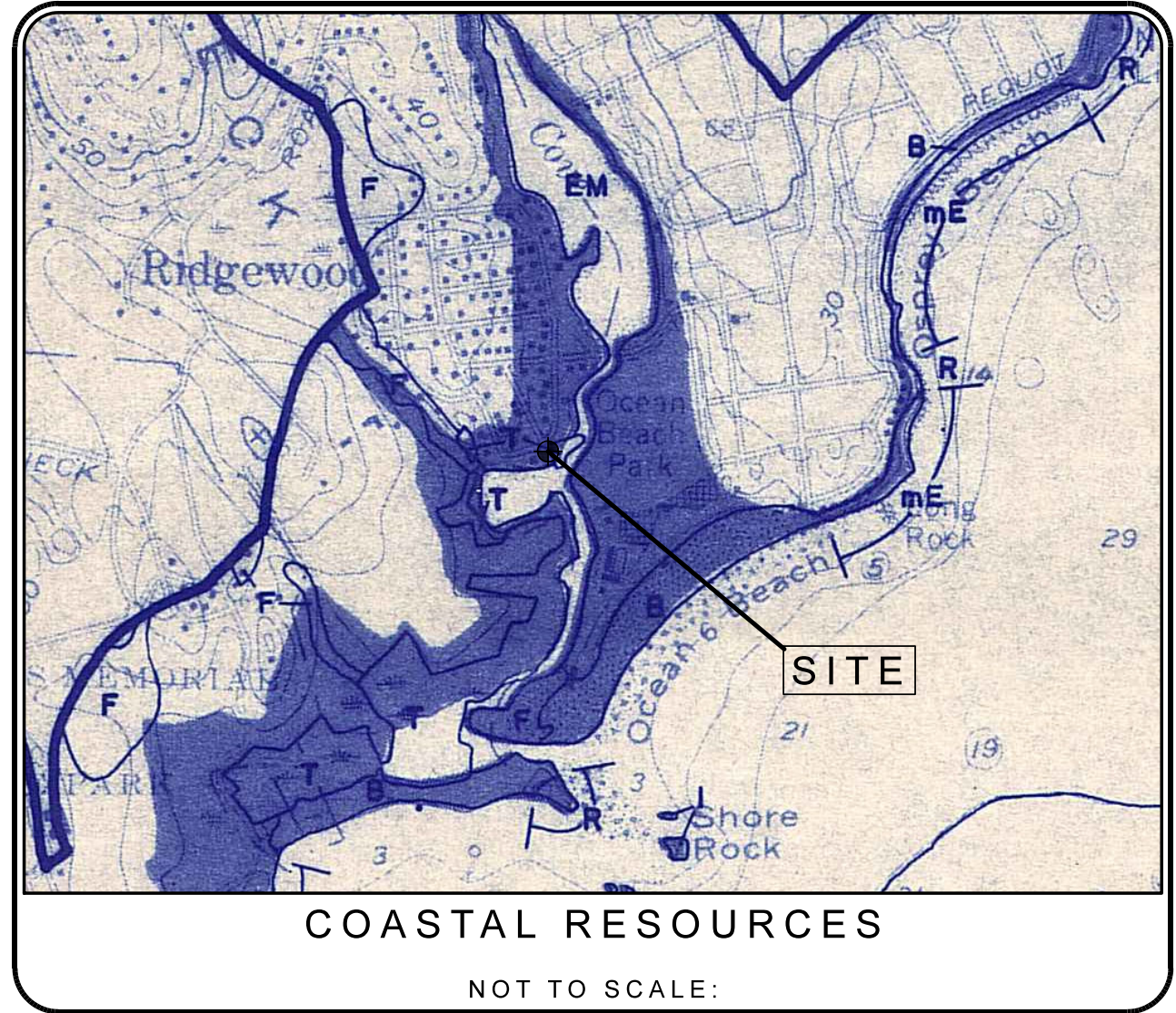
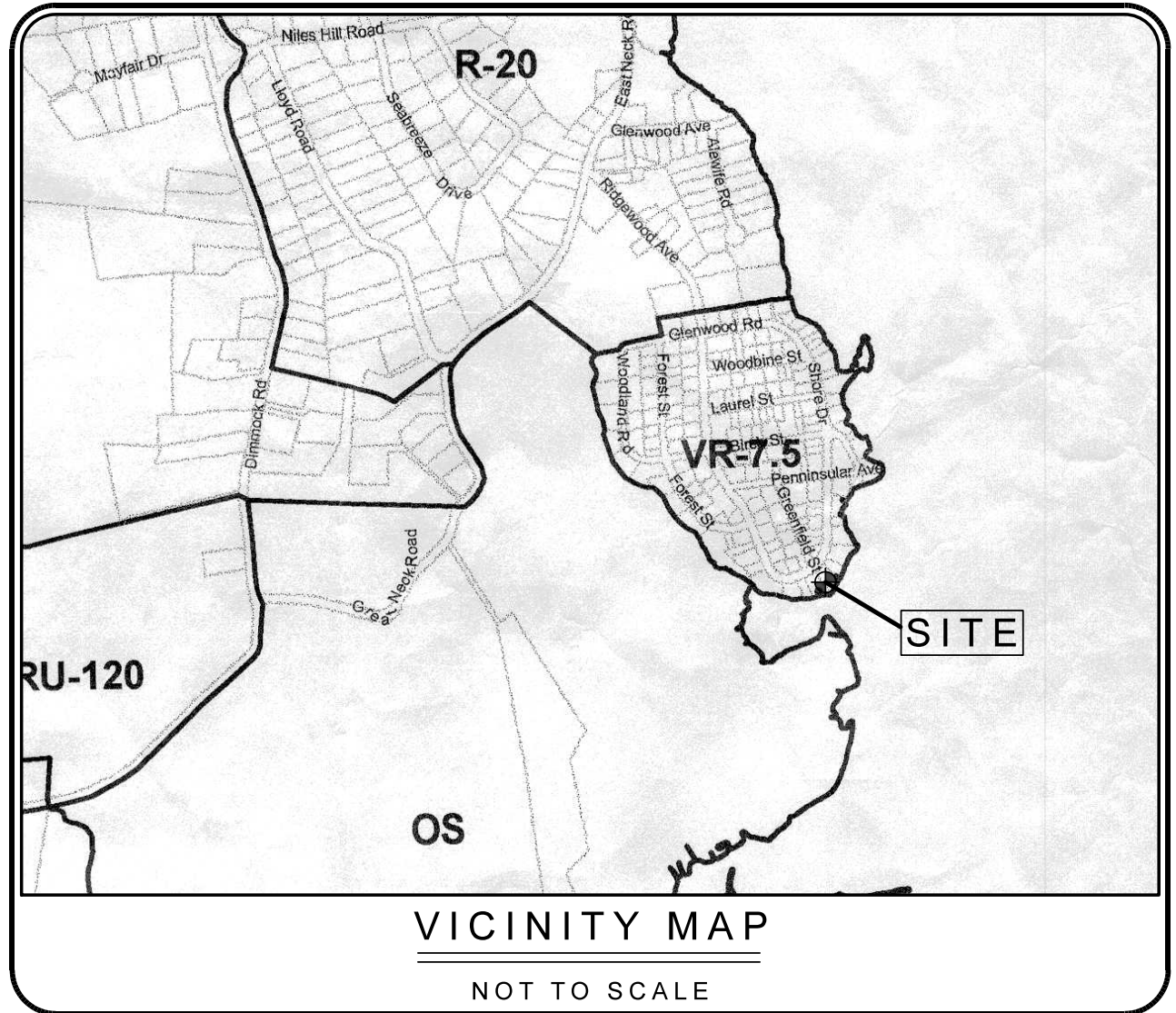
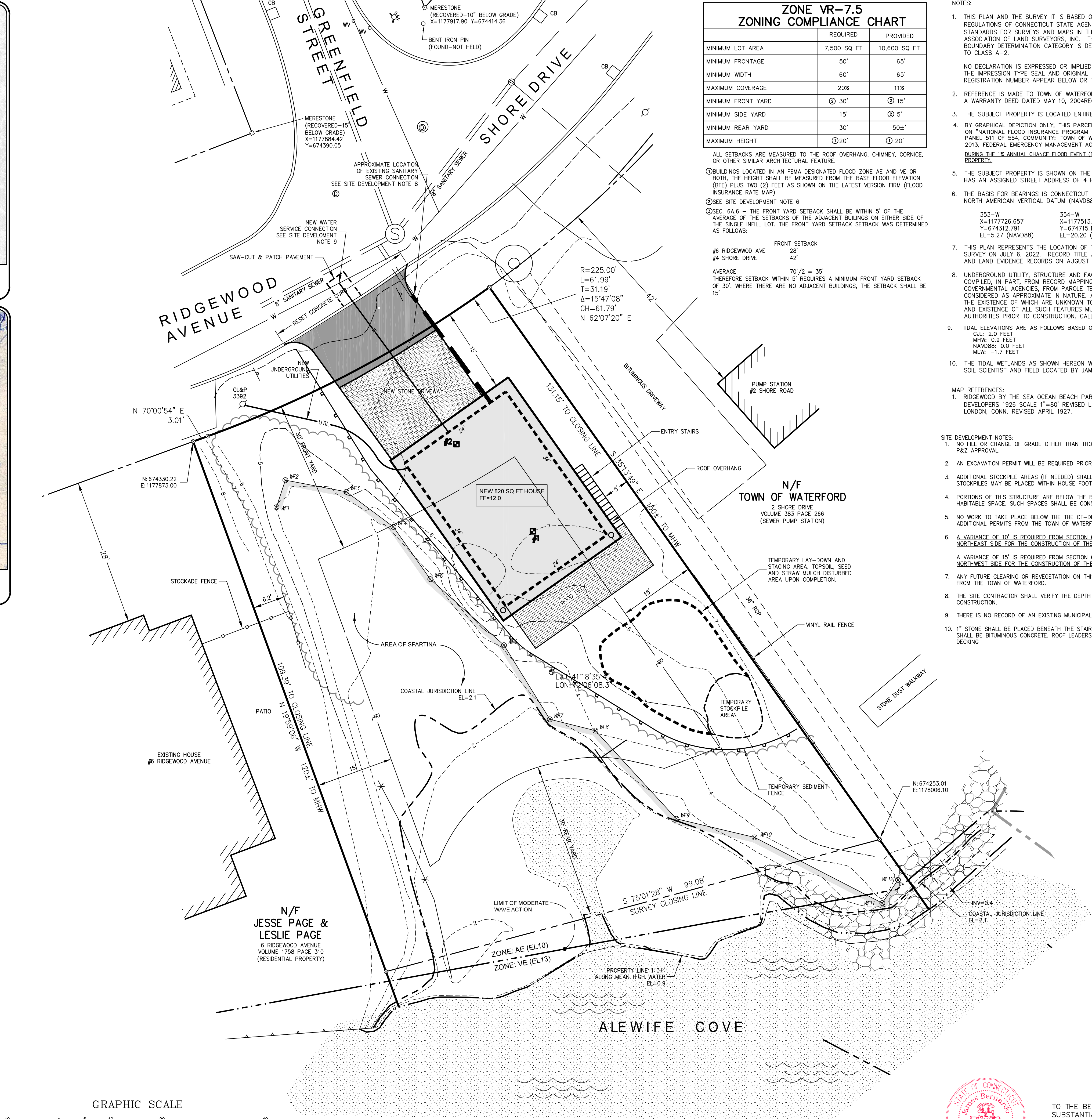




COASTAL RESOURCES ON AND ADJACENT TO THE SITE

EM	ESTUARINE EMBANKMENTS
T	REGULATED TIDAL WETLANDS
	COASTAL FLOOD HAZARD AREA

LEGEND	
THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING	
AC	ACRES
BF	BASEMENT FLOOR
BIT	BITUMINOUS
BCLC	BITUMINOUS CONCRETE LIP CURBING
CONC	CONCRETE
DIA	DIAMETER
DB	DISTRIBUTION BOX
EOP	EDGE OF PAVEMENT
ELEV	ELEVATION
FF	FINISHED FIRST FLOOR
LF	LINEAR FOOT
(MIN)	MINIMUM
M/L	MORE OR LESS
N/F	NOW OR FORMERLY
PVC	POLY VINYL CHLORIDE
SCH40	SCHEDULE 40
5.4x	SPOT ELEVATION
SF	SQUARE FEET
TR	TO REMAIN
HTB	HIGH TIDE BUSH
SP	SPARTINA PATENS
SA	SPARTINA ALTERNAFLORA
TBR	TO BE REMOVED
TYP	TYPICAL
P-5	SOIL PERC TEST LOCATION
THS	SOIL DEEP TEST LOCATION
W	WELL
HYD	HYDRANT
TREE	TREE
BS	BUILDING SETBACK LINE
CL	CLEARING LIMIT LINE
EX	EXISTING TREELINE
CON	EXISTING CONTOUR
NEW	NEW CONTOUR
SF	SEDIMENT FENCE
SD	STORM DRAIN PIPE
SW	STONE WALL
S	SANITARY SEWER
W	WATER



ZONE VR-7.5 ZONING COMPLIANCE CHART		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	7,500 SQ FT	10,600 SQ FT
MINIMUM FRONTAGE	50'	65'
MINIMUM WIDTH	60'	65'
MAXIMUM COVERAGE	20%	11%
MINIMUM FRONT YARD	30'	15'
MINIMUM SIDE YARD	15'	5'
MINIMUM REAR YARD	30'	50.4'
MAXIMUM HEIGHT	20'	20'

ALL SETBACKS ARE MEASURED TO THE ROOF OVERHANG, CHIMNEY, CORNICE, OR OTHER SIMILAR ARCHITECTURAL FEATURE.

① BUILDINGS LOCATED IN AN FEMA DESIGNATED FLOOD ZONE AE AND VE OR BOTH, THE HEIGHT SHALL BE MEASURED FROM THE BASE FLOOD ELEVATION (BFE) PLUS TWO (2) FEET AS SHOWN ON THE LATEST VERSION FIRM (FLOOD INSURANCE RATE MAP)

② SEE SITE DEVELOPMENT NOTE 6

③ SEC. 6A.6 - THE FRONT YARD SETBACK SHALL BE WITHIN 5' OF THE AVERAGE OF THE SETBACKS OF THE ADJACENT BUILDINGS ON EITHER SIDE OF THE SINGLE INFILL LOT. THE FRONT YARD SETBACK SETBACK WAS DETERMINED AS FOLLOWS:

#6 RIDGEWOOD AVE 28' FRONT SETBACK
#4 SHORE DRIVE 42'

AVERAGE 70'/2 = 35'
THEREFORE SETBACK WITHIN 5' REQUIRES A MINIMUM FRONT YARD SETBACK OF 30'. WHERE THERE ARE NO ADJACENT BUILDINGS, THE SETBACK SHALL BE 15'

- NOTES:
- THIS PLAN AND THE SURVEY IT IS BASED ON HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20, "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS ZONING LOCATION SURVEY, THE BOUNDARY DETERMINATION CATEGORY IS DEFENDANT RESURVEY AND THE HORIZONTAL ACCURACY CONFORMS TO CLASS A-2.
 - NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS THE PRINT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW OR THEREON.
 - REFERENCE IS MADE TO TOWN OF WATERFORD LAND EVIDENCE RECORDS VOLUME 495 AT PAGE 993 FOR A WARRANTY DEED DATED MAY 10, 2004 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN THE VR-7.5 ZONE DISTRICT.
 - BY GRAPHICAL DEPICTION ONLY, THIS PARCEL LIES WITHIN FLOOD HAZARD ZONES VE(13) & AE (10) AS SHOWN ON "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT PANEL 511 OF 554, COMMUNITY: TOWN OF WATERFORD MAP NUMBER: 090100511 MAP REVISED: AUGUST 5, 2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
 - DURING THE 1% ANNUAL CHANCE FLOOD EVENT (100-YEAR FLOOD), THERE WILL BE NO DRY ACCESS TO OR FROM THE PROPERTY.
 - THE SUBJECT PROPERTY IS SHOWN ON THE TOWN OF WATERFORD TAX ASSESSOR MAP 57A LOT 20 AND HAS AN ASSIGNED STREET ADDRESS OF 4 RIDGEWOOD AVENUE.
 - THE BASIS FOR BEARINGS IS CONNECTICUT GRID NORTH NAD 83. ELEVATIONS ARE BASED ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88) BASED ON THE FOLLOWING TOWN OF WATERFORD SURVEY STATIONS:
353-W X=117726.657 Y=674312.791 EL=5.27 (NAVD88)
354-W X=1177513.479 Y=674715.181 EL=20.20 (NAVD88)
 - THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY ON JULY 6, 2022. RECORD TITLE AND ADDITIONAL INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS ON AUGUST 30, 2022.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS HAVE BEEN CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO LAND SURVEYING, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-822-4455.
 - TIDAL ELEVATIONS ARE AS FOLLOWS BASED ON THE TIDAL EPOCH 83-01
CL: 2.0 FEET
MHW: 0.9 FEET
NAVD88: 0.0 FEET
MLW: -1.7 FEET
 - THE TIDAL WETLANDS AS SHOWN HEREON WERE DELINEATED IN THE FIELD BY JOSEPHN THEROUX CERTIFIED SOIL SCIENTIST AND FIELD LOCATED BY JAMES BERNARDO LAND SURVEYING, LLC.

- MAP REFERENCES:
- RIDGEWOOD BY THE SEA OCEAN BEACH PARK DEVELOPMENT CO. NEW LONDON, CONN. OWNERS & DEVELOPERS 1926 SCALE 1"=80' REVISED LAYOUT BY EARNEST L. DESHEFY ENGINEER & SURVEYOR NEW LONDON, CONN. REVISED APRIL 1927.
- SITE DEVELOPMENT NOTES:
- NO FILL OR CHANGE OF GRADE OTHER THAN THOSE SHOWN ON THIS PLAN WILL BE ALLOWED WITHOUT ADDITIONAL P&Z APPROVAL.
 - AN EXCAVATION PERMIT WILL BE REQUIRED PRIOR TO PERFORMING ANY WORK WITHIN THE TOWN RIGHT-OF-WAY.
 - ADDITIONAL STOCKPILE AREAS (IF NEEDED) SHALL BE LOCATED IN APPROVED AREAS OFF-SITE. TEMPORARY STOCKPILES MAY BE PLACED WITHIN HOUSE FOOTPRINT. NO PERMANENT STOCKPILE AREAS AVAILABLE.
 - PORTIONS OF THIS STRUCTURE ARE BELOW THE BASE FLOOD HAZARD ELEVATION (10) AND MAY NOT BE USED AS HABITABLE SPACE. SUCH SPACES SHALL BE CONSTRUCTED TO ALLOW FOR THE OPEN PASSAGE OF FLOODWATERS.
 - NO WORK TO TAKE PLACE BELOW THE CT-DEEP COASTAL JURISDICTION LINE (EL=2.1 NAVD88) WITHOUT ADDITIONAL PERMITS FROM THE TOWN OF WATERFORD AND THE CT-DEEP.
 - A VARIANCE OF 10' IS REQUIRED FROM SECTION 6A.6 TO ALLOW FOR A SIDE YARD SETBACK OF 5' ON THE NORTHEAST SIDE FOR THE CONSTRUCTION OF THE DECK AND STAIRS.
A VARIANCE OF 15' IS REQUIRED FROM SECTION 6A.6 TO ALLOW FOR A FRONT YARD SETBACK OF 15' ON THE NORTHEAST SIDE FOR THE CONSTRUCTION OF THE HOUSE.
 - ANY FUTURE CLEARING OR REVEGETATION ON THIS SITE NOT SHOWN HEREON WILL REQUIRE ADDITIONAL APPROVALS FROM THE TOWN OF WATERFORD.
 - THE SITE CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF THE SANITARY HOUSE CONNECTION PRIOR TO CONSTRUCTION.
 - THERE IS NO RECORD OF AN EXISTING MUNICIPAL WATER SERVICE FOR THIS PROPERTY.
 - 1" STONE SHALL BE PLACED BENEATH THE STAIRS & LANDING, AND BENEATH THE STRUCTURE. THE DRIVEWAY APRON SHALL BE BITUMINOUS CONCRETE. ROOF LEADERS SHALL BE DIRECTED TO DISCHARGE TO STONED AREAS BENEATH DECKING.

STATE OF CONNECTICUT
James Bernardo
No. 70121
LICENSED LAND SURVEYOR

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James Bernardo
JAMES BERNARDO LICENSE #70121

4-27-2023
DATE

Sheet No.
S-01
SHEET 1 OF 1

Scale:
1" = 10'

Date
APRIL 21, 2023

Project No.
22053-1

JAMES BERNARDO
LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06385
(860) 447-0236
WWW.JBSURVEY.COM

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ZONING COMPLIANCE SURVEY
PROPERTY OF
MARYSE CALLARD, TRUSTEE
FOR PROPERTY LOCATED AT
4 RIDGEWOOD AVENUE
TOWN OF WATERFORD - COUNTY OF NEW LONDON - CONNECTICUT

LTR DESCRIPTION DATE

REVISIONS