



Town of Waterford

Department of Planning and Development
www.waterfordct.org

Office Use Only

Date Submitted: _____

Processed By: _____

App. No.: _____

Total Fee: \$ _____

Variance Application to the Zoning Board of Appeals

Property Address: 7 Strosberg Road

1. Type of Variance Application(s) (Check all that apply)

- | | | |
|---|--|---|
| ☒ Residential | ☐ CAM Residential | ☐ Location of Approval DMV |
| ☐ Other Residential | ☐ CAM Non-Residential | ☐ Other: _____ |
| ☐ Non-Residential | | |

2. Owner(s) of Record (As listed on deed)

Name: David J. McCarthy Telephone#: _____
Address: 7 Strosberg Road Cell Phone#: 860-235-4305
City/State: Waterford, CT 06385 Email: _____

3. Applicant Information

Name: Same Telephone#: _____
Address: _____ Cell Phone#: _____
City/State: _____ Email: _____

4. Agent Information

Name: James Bernardo Land Surveying, LLC Telephone#: 860-447-0236
Address: 102A Spithead Rd Cell Phone#: _____
City/State: Waterford, CT 06385 Email: jim@jbsurvey.com

5. Application Request Type

I/We hereby apply for:

Variance from the Zoning Regulations ☒

Repairer's/Dealer's License ☐

6. Parcel Information

Map/Block/Lot: 134 / 806 / 9 134 / 806 / 9 Street No. & Name: 7 Strosberg Road
Approximate Size SF/AC: 17866 / 0.41 Date acquired: 3-11-2015 Zone(s): C-G
Deed recorded in Waterford Land Records Volume Number: 764 Page(s): 63
Located on the side E of Strosberg Road, 110 feet
(N, S, E, W) (STREET)
N from the intersection of Strosberg Road and Boston Post Road
(N, S, E, W) (STREET) (STREET)

The variance relates to (please check one):

Use: ☐ Area: ☐ Frontage: ☐ Yards/Setbacks: ☒ Signs: ☐ Dealer/Repairer: ☐

7. Zone District

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	See Attached		
MINIMUM FRONTAGE			
MINIMUM FRONT YARD			
MINIMUM SIDE			
MINIMUM REAR YARD			
MAXIMUM BUILDING COVERAGE			
MAXIMUM BUILDING HEIGHT			
MINIMUM PARKING SPACES			

8. Under what section(s) of the Zoning Regulations is the appeal based?

Attach additional sheet if necessary

Section 8.4.1 Front Yard & Section 8.4.2 Side Yard

9. Specifically state amount of variance or action Board is requested to take:

Attach additional sheet if necessary

See the attached sheet

10. What is the hardship claimed? See Sections 27.4 and 27.5 of the Zoning Regulations

See the attached sheet

11. Has/Have any previous appeal(s) been filed in connection with these premises during the past ten calendar years?

Yes ☒

No ☐

If yes, April 2013 and Z-13-3
Date(s) *Appeal Number(s)*

12. Coastal Area Management Boundary

Is the property within the Coastal Area Management Boundary?

Yes ☐

No ☒

Is a CAM report required?

Yes ☐

No ☒

If yes, is the report attached?

Yes ☐

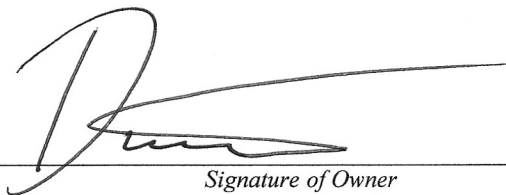
No ☐

If No, note the exempt section(s) of Zoning Regulations _____

13. Owner, Applicant and/or Agent Acknowledgement

By signing below, the Owner and Applicant hereby grant the Waterford Zoning Board of Appeals and its authorized agents, including the Zoning Enforcement Officer, and Town Public Works Staff, the right to enter the premises, subject of the application, to inspect and verify the information contained in the variance application.

I/We hereby depose and say that all the above statements and the statements contained in any papers submitted herewith are true to the best of my knowledge and belief.



Signature of Owner

5-31-23
Date



Signature of Applicant/Agent

5-31-23
Date



ZONING BOARD OF APPEALS APPLICATION CHECKLIST

Applications for the Zoning Board of Appeals must include the following:

- ☒ Fees
*Please note: Fees are determined by a standard process fee in addition per variances.
Cash or check is the accepted form of payment.*
- ☒ Submission of two sets of the following:
 - ☒ Application
 - ☒ Plot plans
 - ☒ Legal description (deed)
 - ☒ List of all property owners within 150 feet
 - ☒ Town of Waterford Assessor's map of property owners within 150 feet
 - ☒ Town of Waterford Assessor's street card

The Zoning Board of Appeals will require at least 10 additional copies after review of the application, depending on what variances are requested. The applicant will be notified by the Zoning Board of Appeals office on how many and when the additional copies are required.

Attachment to application by: David J. McCarthy
 7 Strosberg Road
 Waterford, CT 06385

7. Zone District

ZONE C-G ZONING COMPLIANCE CHART			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	30,000 SQ FT	17,866 SQ FT	17,866 SQ FT
MINIMUM FRONTAGE	125'		
STROSSBERG ROAD		287.07'	287.07'
HAMAST AVENUE		100.00'	100.00'
MINIMUM LOT WIDTH	150'		
STROSSBERG ROAD		127'	127'
HAMAST AVENUE		118'	118'
MAXIMUM COVERAGE	25%	14%	17%
MINIMUM FRONT YARD	75'	①	
STROSSBERG ROAD		15'	27' ①
HAMAST AVENUE		51'	51'
MINIMUM SIDE YARD (SOUTH)	30'	34'	19' ①
MINIMUM SIDE YARD (EAST)	30'	22'	24' ①
MINIMUM REAR YARD	50'	N/A ②	N/A ②
MAXIMUM HEIGHT	35'	<35'	<35'

1. DISTANCE TO NEW STRUCTURE, VARIANCE REQUIRED FOR NEW ADDITION, SEE NOTE 9
2. PROPERTY IS A CORNER LOT, THEREFORE A REAR YARD SETBACK IS NOT REQUIRED

9. Specifically state amount of variance or action Board is requested to take:

9. VARIANCES ARE REQUESTED FROM THE FOLLOWING TOWN OF WATERFORD ZONING REGULATIONS:

SECTION 8.4.1 (FRONT YARD)

A VARIANCE OF 48' FOR FRONT YARD SETBACK IS REQUESTED FROM STROSBERG ROAD TO ALLOW FOR A FRONT YARD SETBACK OF 27'. 75' IS REQUIRED.

SECTION 8.4.2 (SIDE YARD-SOUTH SIDE)

A VARIANCE OF 11' FOR SIDE YARD SETBACK IS REQUESTED TO ALLOW FOR A SIDE YARD SETBACK OF 19' ON THE SOUTH SIDE. 30' IS REQUIRED.

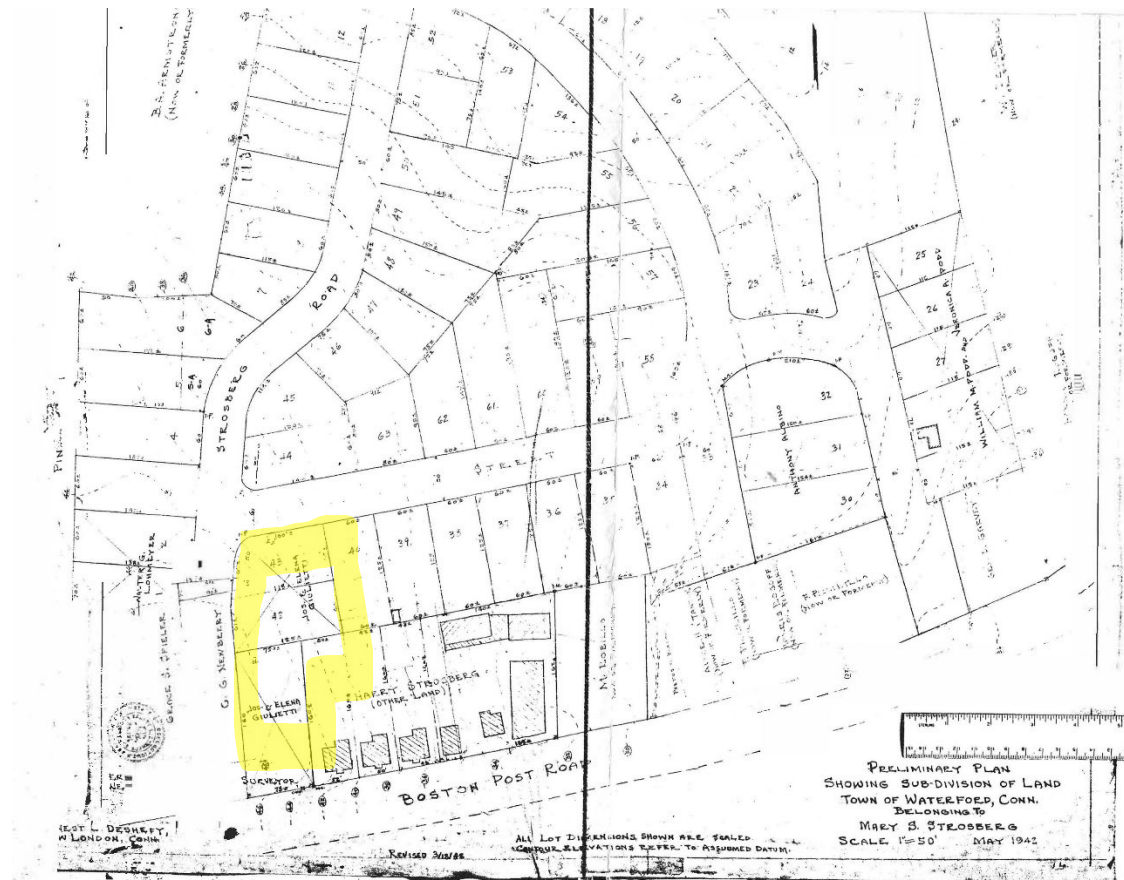
SECTION 8.4.2 (SIDE YARD-EAST SIDE)

A VARIANCE OF 6' FOR SIDE YARD SETBACK IS REQUESTED TO ALLOW FOR A SIDE YARD SETBACK OF 24' ON THE EAST SIDE. 30' IS REQUIRED.

VARIANCES ARE REQUESTED TO CONSTRUCT AN ADDITION TO THE EXISTING SINGLE FAMILY RESIDENCE AS SHOWN.

10. What is the hardship claimed?

The property is comprised of lots 42, 43 and a portion of the land of Jos. & Elena Giulietti on the 1942 Subdivision of Land of Mary S. Strosberg approved by the Waterford Planning Commission (July 6, 1951).



At that time, the property was zoned Commercial General (C-G). The property currently contains a One-family dwelling which is an allowed use under section 8.1.1 of the Zoning Regulations. The yard setbacks at the time for residential uses were:

Front Yard: 25 feet

Side Yard: 10 feet

Rear Yard: 30 feet

Subsequent to the approval of the 1942 subdivision, the Town changed the setbacks in the C-G zone. Under the current C-G setbacks, the property became non-conforming with regards to area, front yard setback and side yard setback. The zoning designation of the properties on the north side of Hamast Avenue is VR-10 which has significantly reduced setback requirements.

The VR-10 setbacks are as follows:

Front Yard: The front yard setback shall be within 5 feet of the average of the setbacks of the adjacent buildings on either side of a single infill lot. Where there are no adjacent buildings, the setback shall be 30 feet in VR-15 zones, 20 feet in VR-10 zones, and 15 feet in VR-7.5 zones.

Side Yard: 15 feet

Rear Yard: 30 feet

In addition, the minimum lot size in the zone is 30,000 SF. The property is 17,866 SF. Approximately 60% of the required area in the zone. Strict enforcement of the current zoning setback requirements on this smaller lot places an undue hardship on the property owner.

An undue hardship has been placed on this property due to the current Zoning Regulations of the General Commercial (C-G) zone district.

STATUTORY WARRANTY Deed

Alfred A. Guilietti, Jane J. Guilietti acting here by Carol E. Guilietti her Attorney-In-Fact, William E. Guilietti, Elvira A. Delpriore, Trustee of The William Delpriore and Elvira A. Delpriore Revocable Trust dated July 15, 2002 and William Delpriore, Trustee of The William Delpriore and Elvira A. Delpriore Revocable Trust dated July 15, 2002

For Consideration Paid in the amount of Three Hundred Thirty Thousand and 00/100 Dollars (\$330,000.00) grants to:

David J. McCarthy WITH WARRANTY COVENANTS the following described real property:

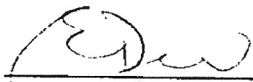
See Legal Description Attached Hereto.

Being known as 43 ½ and 45 Boston Post Road and 7 Strosberg Road, Waterford, CT

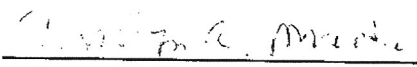
Subject to Easements restrictions and agreements as of record appear, building and building line restrictions, any and all provisions of any ordinance, municipal ordinances, including planning, zoning, conservation and inland wetland regulations of the Town of Waterford, public or private law and taxes and/or assessments currently in place or to be assessed to the Town of Waterford and/or its boroughs, villages and districts.

Dated at New London, CT this 11th day of March, 2005

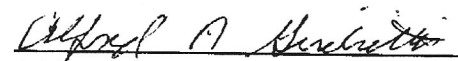
Witnessed by:



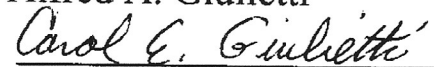
David J. McCarthy



Carol E. Guilietti

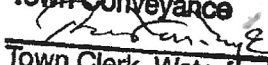


Alfred A. Guilietti



Jane J. Guilietti By Carol E. Guilietti
Her Attorney-In-Fact

\$
\$

State Conveyance 1650.00
Town Conveyance 825.00


Town Clerk, Waterford

William E. Giulietti

William E. Giulietti

Elvira A. Delpriore

Elvira A. Delpriore, Trustee

The William Delpriore and Elvira A. Delpriore Revocable Trust dated July 15, 2002

William Delpriore

William Delpriore, Trustee

The William Delpriore and Elvira A. Delpriore Revocable Trust dated July 15, 2002

State of Connecticut)

) SS:

County of New London)

On this the 11th day of March 2005 before me the undersigned officer, personally appeared Alfred A. Giulietti, Jane J. Guilietti by Carol E. Giulietti Her Attorney-In-Fact, William E. Giulietti, Elvira A. Delpriore, Trustee of The William Delpriore and Elvira A. Delpriore Revocable Trust dated July 15, 2002 and William Delpriore, Trustee of The William Delpriore and Elvira A. Delpriore Revocable Trust dated July 15, 2002 known to me or satisfactorily proven to be the person (s) whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

In witness whereof I hereunto set my hand,

[Signature]

Commissioner of Superior Court

GRANTEES' CURRENT ADDRESS:

SCHEDULE "A"

That certain tract or parcel of land with the buildings thereon standing situated on the northerly side of the Boston Post Road in said Town of Waterford, County of New London and State of Connecticut and being more particularly bounded and described as follows:

Beginning at the southwesterly corner of the herein conveyed premises where the northerly line of said Boston Post Road intersects with the easterly side of a proposed fifty-foot right of way; thence running easterly seventy-eight (78) feet, more or less, along the northerly line of said Boston Post Road to land now or formerly of Mary S. Strosberg; thence turning and running northerly one hundred sixty (160) feet to a point, which point is seventy-five (75) feet east from the easterly line of the aforementioned right of way, bounding easterly on land now or formerly of said Mary S. Strosberg; thence turning and running easterly fifty (50) feet, more or less, to other land now or formerly of said Mary S. Strosberg, bounding southerly on land now or formerly of said Mary S. Strosberg; thence turning and running northerly one hundred twenty-five (125) feet, more or less, to a proposed street fifty (50) feet wide, bounding easterly on other land now or formerly of said Mary S. Strosberg; thence turning and running westerly one hundred (100) feet, more or less, to the first-mentioned right of way, bounding northerly on said proposed street; thence turning and running southerly two hundred eighty-eight (288) feet, more or less, to the northerly line of said Boston Post Road and the point or place of beginning, bounding westerly on said right of way.

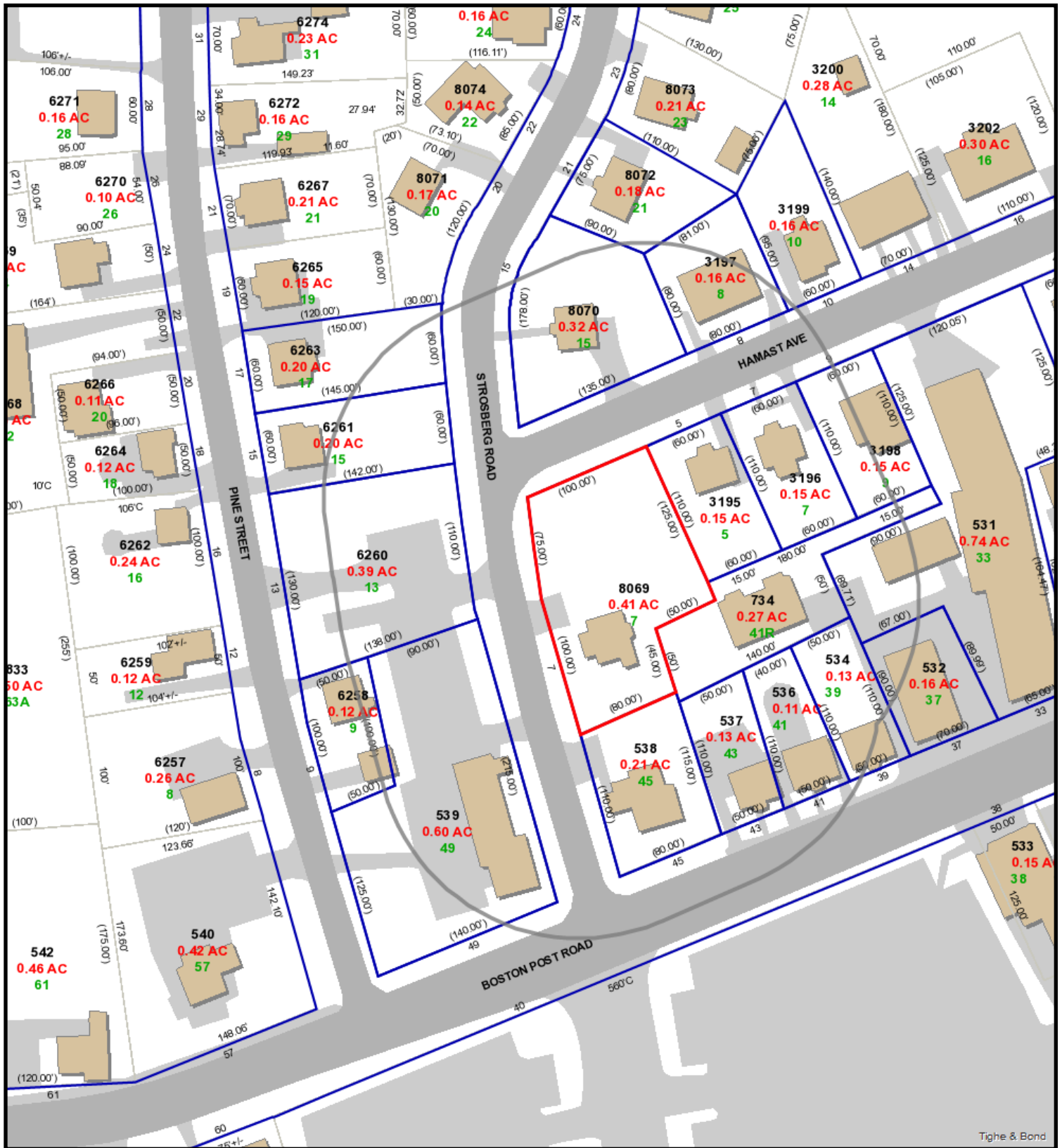
Being premises described in a warranty deed from Mary S. Strosberg to Giuseppe Giulietti and Elena Giulietti dated November 19, 1946, recorded at Volume 74, Pages 431-433 of the Waterford Land Records.

ATTEST:
TOWN CLERK

05 MAR 11 PM 2:51

RECEIVED FOR RECORD
WATERFORD, CT

Wm



5/30/2023 4:28:57 PM

Scale: 1"=100'

Scale is approximate

The information depicted on this map is for planning purposes only.
It is not adequate for legal boundary definition, regulatory
interpretation, or parcel-level analyses.



Parcel ID	Owner	Mailing Address	Mailing City	Mai	Mailing Zip Address	
51800	33 BOSTON POST ROAD LLC	49 JAY STREET	NEW LONDON	CT	06320	33 BOSTON POST ROAD
52600	49 BOSTON POST ROAD LLC	94 LOVERS LANE	EAST LYME	CT	06333	49 BOSTON POST ROAD
52100	BH MANAGEMENT GROUP LLC	2323 NORTH STATE STREET	BUNNELL	FL	32110	39 BOSTON POST ROAD
282500	BRUCKNER MARK HENRY L/U & NANCY A L/U	9 HAMAST AVENUE	WATERFORD	CT	06385	9 HAMAST AVENUE
282300	CONNECTICUT HOUSING FINANCE AUTHORITY	999 WEST STREET	ROCKY HILL	CT	06067	7 HAMAST AVENUE
282400	CONSTANTINE THEODORE & OLGA	7 MELANIE DR	WATERFORD	CT	06385	8 HAMAST AVENUE
72800	FLAVIN MARTIN D	41R BOSTON POST ROAD	WATERFORD	CT	06385	41R BOSTON POST ROAD
52400	HITAJ ANILA & DIELLI GERTIAN	14 LAUREL CREST DR	WATERFORD	CT	06385	43 BOSTON POST ROAD
51900	KOSLOSKEY CHRISTIAN	21 VIVIAN ST	WATERFORD	CT	06385	37 BOSTON POST ROAD
282600	MANDES SPIRO G	18 GOLD MINE RD	BOZRAH	CT	06334	10 HAMAST AVENUE
580300	MARTE NATHANAEL & LARISSA &	9 PINE STREET	WATERFORD	CT	06385	9 PINE STREET
753300	MCCARTHY DAVID J	6 RIDGEWOOD AVE	WATERFORD	CT	06385	7 STROSBERG ROAD
52500	MCCARTHY DAVID J	7 STROSBERG ROAD	WATERFORD	CT	06385	45 BOSTON POST ROAD
580600	PARTRIDGE CHRISTOPHER S & AMANDA M	15 PINE STREET	WATERFORD	CT	06385	15 PINE STREET
52300	PAVON KAREN	41 BOSTON POST RD	WATERFORD	CT	06385	41 BOSTON POST ROAD
282200	PAYERO CARMEN L	5 HAMAST AVENUE	WATERFORD	CT	06385	5 HAMAST AVENUE
753600	PETTIT DAVID L	21 STROSBERG ROAD	WATERFORD	CT	06385	21 STROSBERG ROAD
753400	RJF ACQUISITIONS LLC	1 DOCK 72 WAY	BROOKLYN	NY	11205	15 STROSBERG ROAD
580800	SANTANGELO ANTHONY P & ANTLEY SHEILA S	17 PINE STREET	WATERFORD	CT	06385	17 PINE STREET
580500	WHITE WAVE LLC	3 BRAMAN RD	WATERFORD	CT	06385	13 PINE STREET

7 STROSBURG ROAD

Location 7 STROSBURG ROAD**Mblu** 134/ / 8069/ /**Acct#** 00753300**Owner** MCCARTHY DAVID J**Assessment** \$226,610**Appraisal** \$323,740**PID** 8069**Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$236,180	\$87,560	\$323,740
Assessment			
Valuation Year	Improvements	Land	Total
2022	\$165,320	\$61,290	\$226,610

Parcel Addresses

Additional Addresses
No Additional Addresses available for this parcel

Owner of Record

Owner MCCARTHY DAVID J**Co-Owner****Sale Price** \$330,000**Certificate****Book & Page** 0764/0063**Sale Date** 03/11/2005**Instrument** 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MCCARTHY DAVID J	\$330,000		0764/0063	00	03/11/2005
DELPRIORE WM & ELVIRA A -TRUSTEE	\$0		0577/1112	25	04/04/2003
DELPRIORE WM & ELVIRA A -TRUSTEE	\$0		0561/0054	00	09/20/2002
DELPRIORE WM & ELVIRA A - TRUSTE	\$0		0556/0387	25	07/17/2002
DELPRIORE E A & GIULIETTI WILL &	\$0		0233/0583	00	05/06/1977

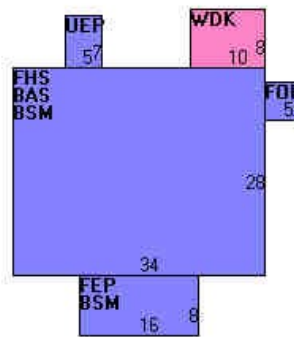
Building Information**Building 1 : Section 1**

Year Built: 1950
Living Area: 1,428
Replacement Cost: \$266,690
Building Percent Good: 78

Building Attributes	
Field	Description
Style	Multi Fam 2-4 Units
Model	Residential
Grade:	C
Stories	1.5
Occupancy	2
Exterior Wall 1	Vinyl Siding
Exterior Wall 2	
Roof Structure	Gable
Roof Cover	Arch Shingles
Interior Wall 1	Plaster
Interior Wall 2	
Interior Flr 1	Hardwood
Interior Flr 2	
Heat Fuel	Oil
Heat Type:	Steam
AC %	0
Total Bedrooms:	3
Full Bthrms:	2
Half Baths:	0
Extra Fixtures	1
Total Rooms:	7
Bath Style:	Average
Kitchen Style:	Average
Num Kitchens	2
Fireplace(s)	0
Extra Opening(s)	0
Gas Fireplace(s)	0
% Attic Fin	100
LF Dormer	7
Foundation	Poured Conc
Bsmt Gar(s)	0
Bsmt %	100
SF FBM	390.00

Building Photo

(<https://images.vgsi.com/photos/WaterfordCTPhotos/\00\01\63\67.jpg>)

Building Layout

(https://images.vgsi.com/photos/WaterfordCTPhotos//Sketches/8069_8069.jpg)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	952	952
FHS	Finished Half Story	952	476
BSM	Basement	1,080	0
FEP	Finished Enclosed Porch	128	0
FOP	Open Porch	25	0
UEP	Unfin. Enclosed Porch	35	0
WDK	Deck	80	0
		3,252	1,428

SF Rec Rm	
Fin Bsmt Qual	Low Quality
Bsmt Access	Hatchway

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code	102
Description	Two Family
Zone	C-G
Neighborhood	1200
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	0.41
Frontage	175
Depth	0
Assessed Value	\$61,290
Appraised Value	\$87,560

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR1	Garage	FR	Frame	1444.00 S.F.	\$28,160	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$236,180	\$87,560	\$323,740
2021	\$166,350	\$82,910	\$249,260

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$165,320	\$61,290	\$226,610
2021	\$116,450	\$58,040	\$174,490