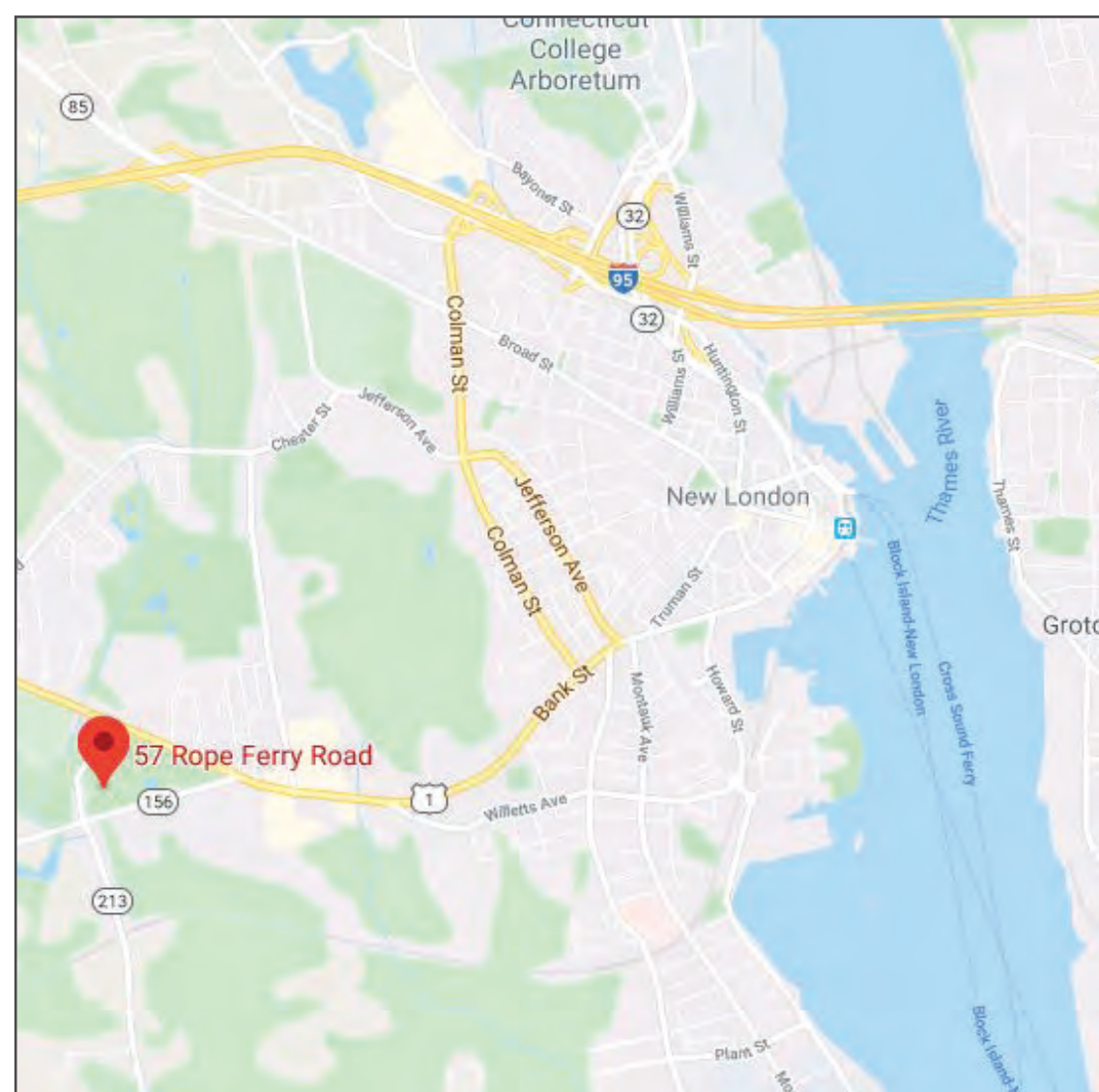
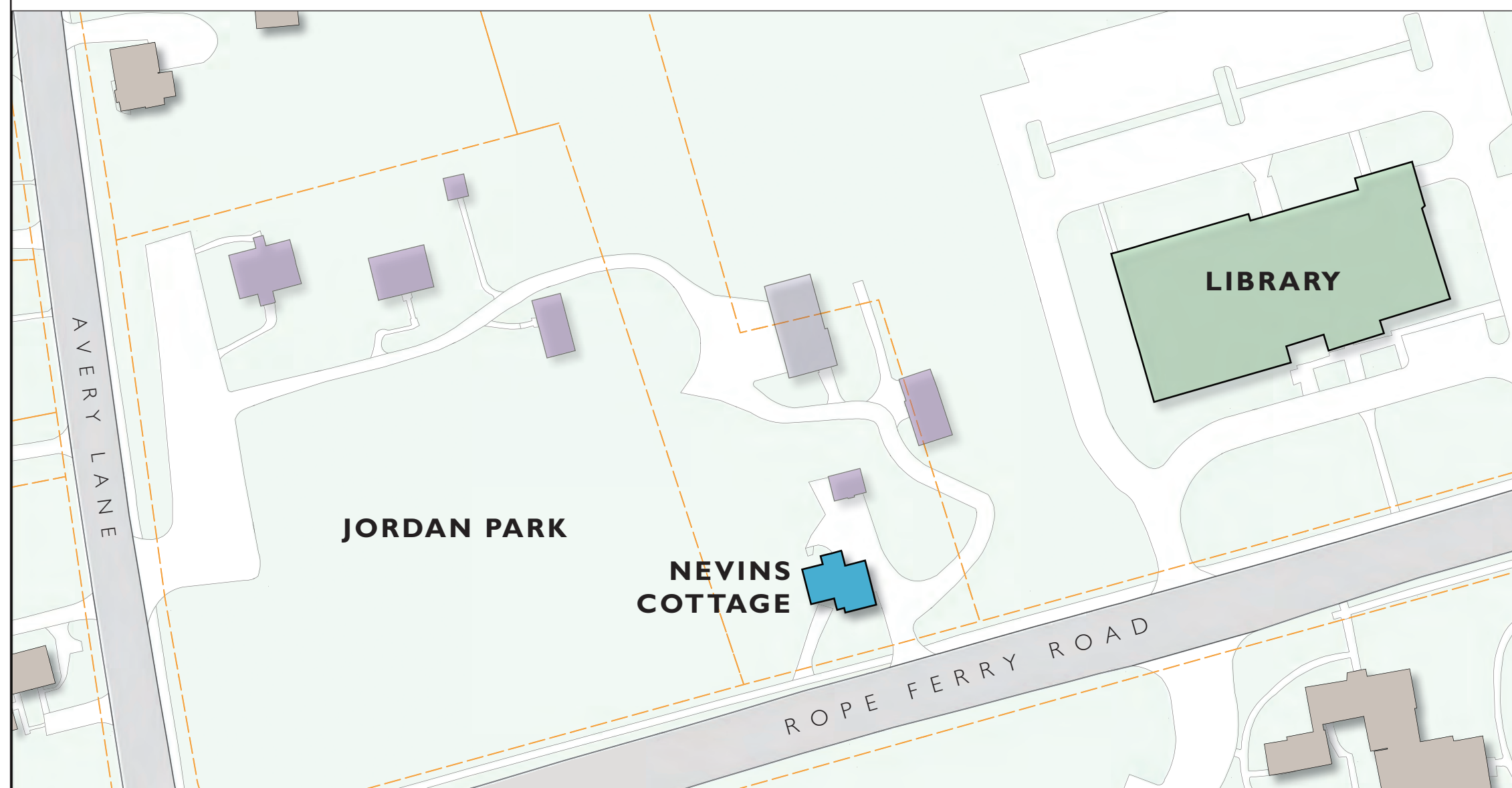




STABILIZATION AND EXTERIOR REHABILITATION SCOPE

INTENT OF PROJECT:

Nevins Cottage Tenant Cottage is listed on the National Register of Historic Places as a contributing resource to the 'Jordan Village National Register District.' The Secretary of the Interior's Standards for the Care and Treatment of Historic Properties shall be followed in all respects.

The intent of this project is to remove non-historic building addition, correct structural deficiencies, return the building envelope to sound condition and provide basic level of climate control to prevent deterioration of building.

WORK INCLUDES THE FOLLOWING:

Selective demolition; localized regrading; temporary shoring; excavation and backfill; drainage course; basement window opening wells; stone face concrete foundation wall; Localized repointing of stone foundation wall; Concrete slab on grade; Structural stabilization of floor, wall and roof framing; New stair; New siding and casing; Restored porch ceiling and eave/rake soffit; Wood window restoration; New wood window; Wood door restoration; Wood shutters and hardware; Restoration or replacement-in-kind of exterior standing and running trim including both flat and profiled; Carved post column restoration; Exterior painting; Low slope membrane roof; Copper roof; Sidewall flashings; Basement access way enclosure and opening; Misc. electrical; Misc. HVAC. Work includes Unit Price work, Allowances and Alternates.

NOT IN SCOPE:

Steep slope roof; Low slope roof at South porch/addition; chimney work.

STABILIZATION AND EXTERIOR REHABILITATION NEVINS TENANT COTTAGE

57 ROPE FERRY ROAD, WATERFORD, CT

CONSTRUCTION DOCUMENTS FOR GRANT SUBMISSION

2020-09-28

DRAWING LIST

[illegible]

NELSON
EDWARDS
COMPANY
HITECTS LLC

1156 MAIN STREET BRANFORD, CONNECTICUT 06405



2	CDS FOR GRANT SUBMISSION	09.30.2020
1	FOR PRICING	09.04.2020
No.	DESCRIPTION	DATE
ISSUED DRAWINGS		

NOTES:

- ALL DIMENSIONS AND MEASUREMENTS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO FABRICATION.
- (E) INDICATES EXISTING. (N) INDICATES NEW.
- FRAMING MEMBERS ARE MEASURED IN INCHES AND ARE NOTED WIDTH X DEPTH.

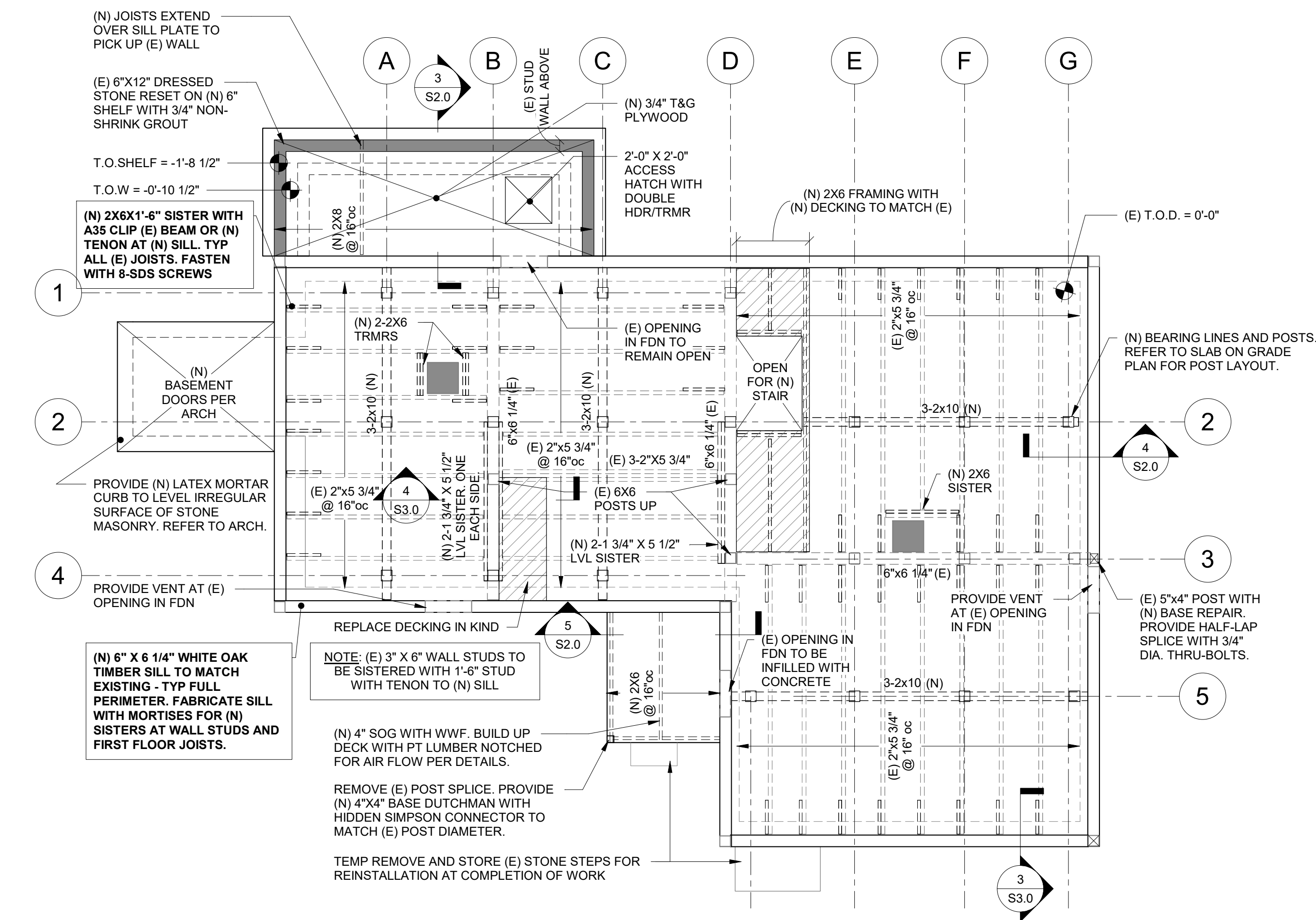
NEVINS TENANT
COTTAGE
57 Rope Ferry Road
Waterford, CT

CONSTRUCTION
DOCUMENTS - GRANT
SUBMISSION ONLY

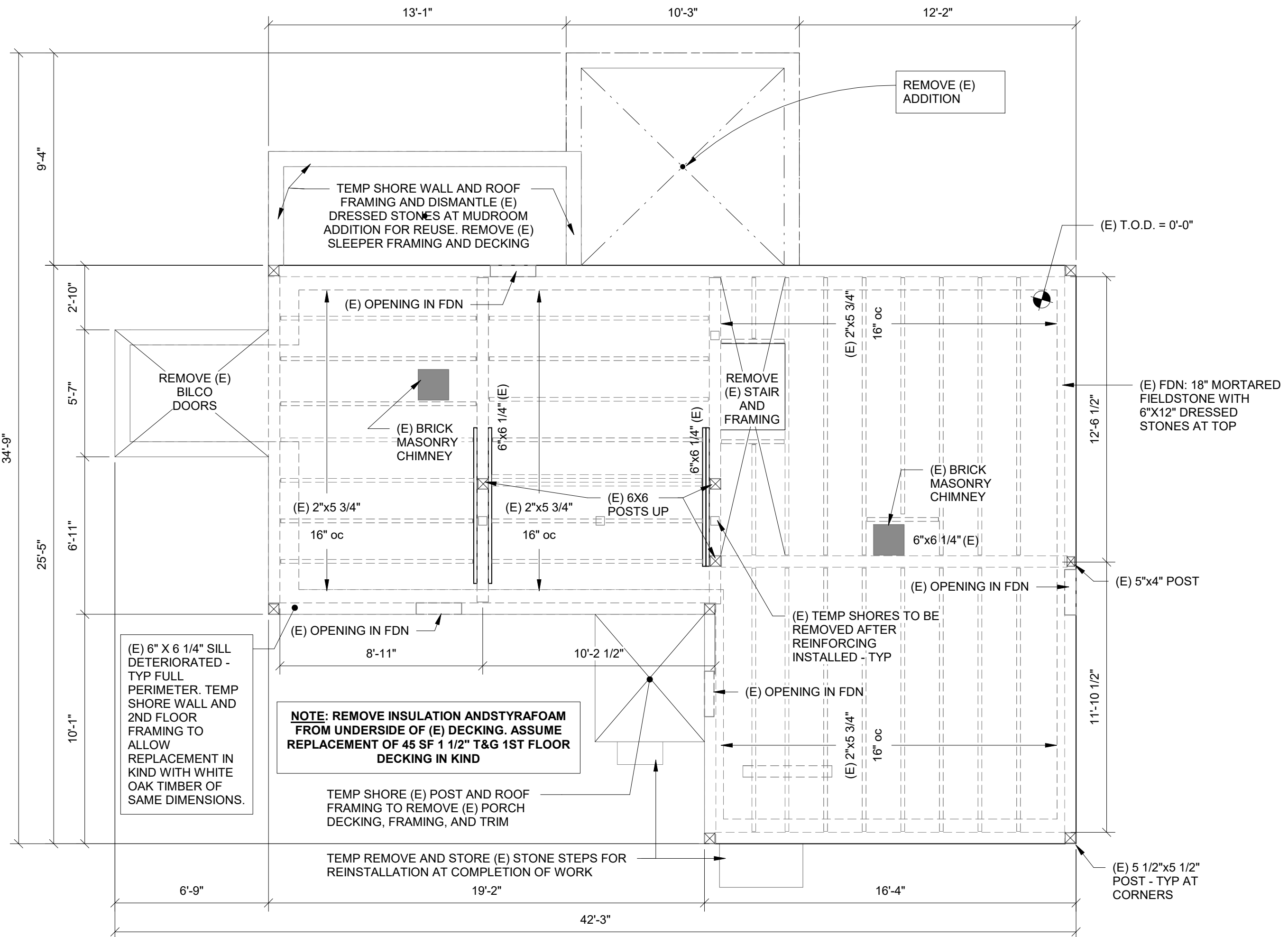
FOUNDATION AND
FIRST FLOOR FRAMING
PLANS

SCALE:	As indicated
PROJECT NUMBER:	12017
DATE:	September 24, 2020
DRAWN BY:	JJS / ZL
CHECKED BY:	AJ

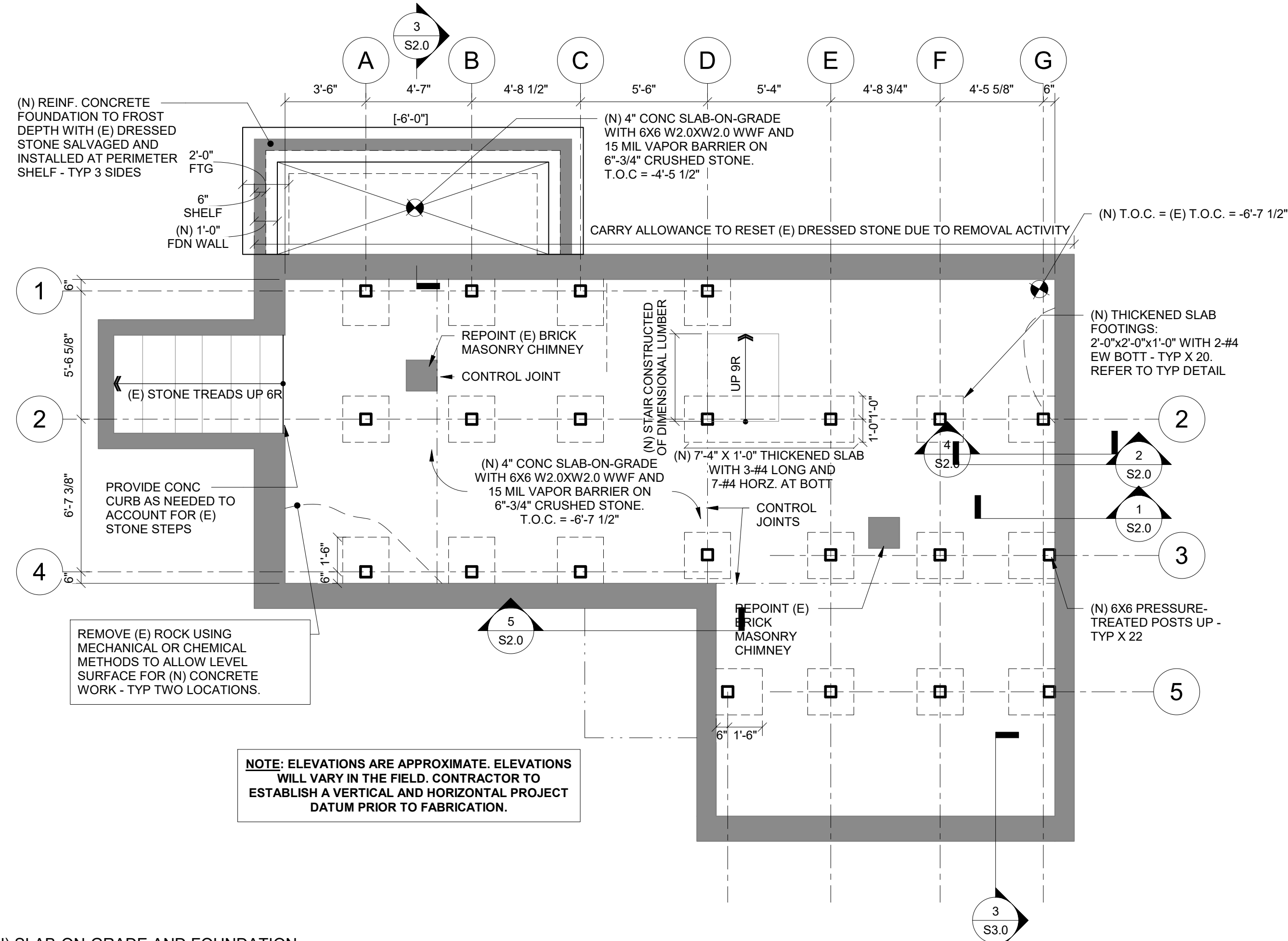
S1.0



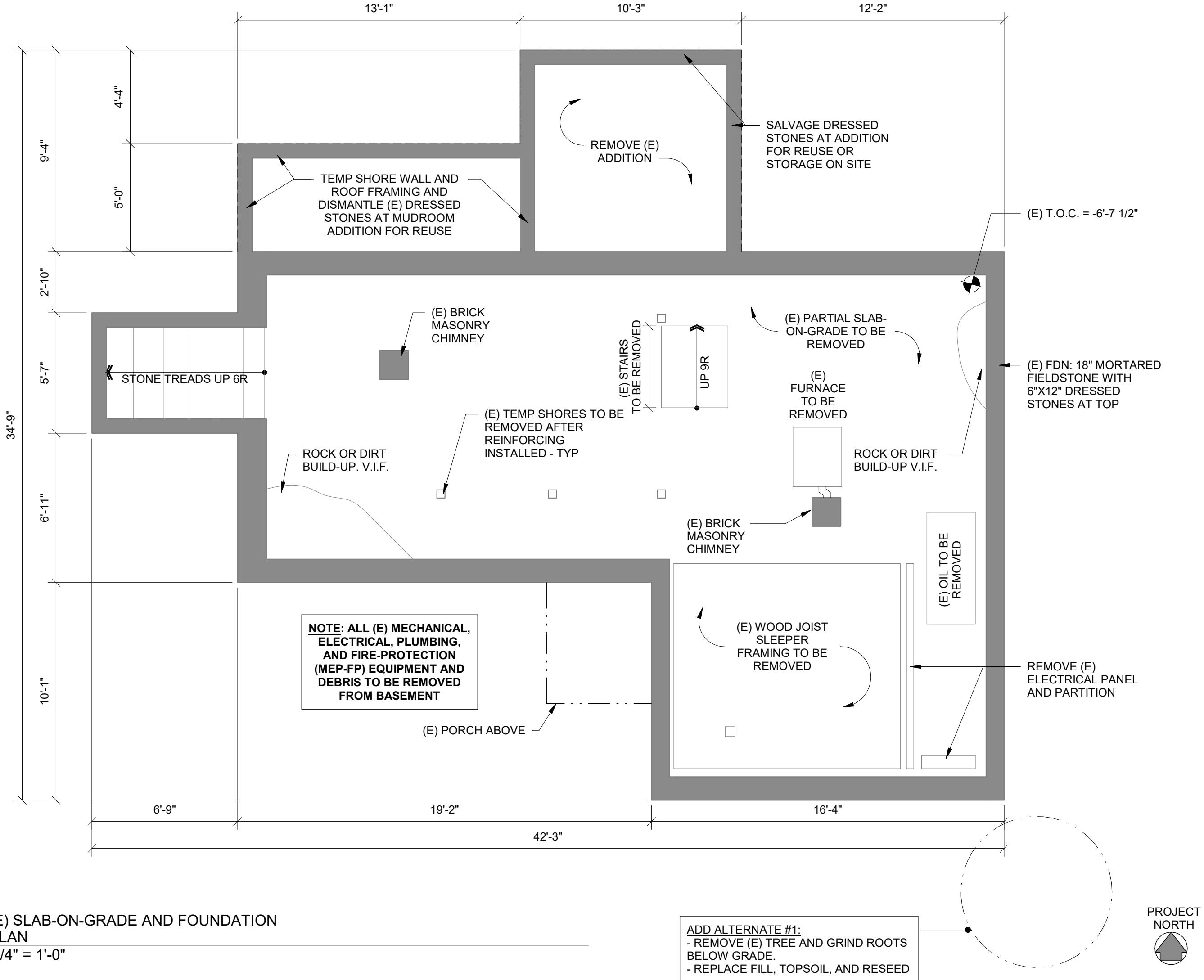
④ (N) FIRST FLOOR FRAMING PLAN
1/4\" = 1'-0"



③ (E) FIRST FLOOR FRAMING PLAN
1/4\" = 1'-0"



(N) SLAB-ON-GRADE AND FOUNDATION
PLAN
② 1/4\" = 1'-0"



(E) SLAB-ON-GRADE AND FOUNDATION
PLAN
① 1/4\" = 1'-0"

2	CDS FOR GRANT SUBMISSION	09.30.2020
1	FOR PRICING	09.04.2020
No.	DESCRIPTION	DATE
ISSUED DRAWINGS		

NOTES:

- ALL DIMENSIONS AND MEASUREMENTS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO FABRICATION.
- (E) INDICATES EXISTING. (N) INDICATES NEW.
- FRAMING MEMBERS ARE MEASURED IN INCHES AND ARE NOTED WIDTH X DEPTH.

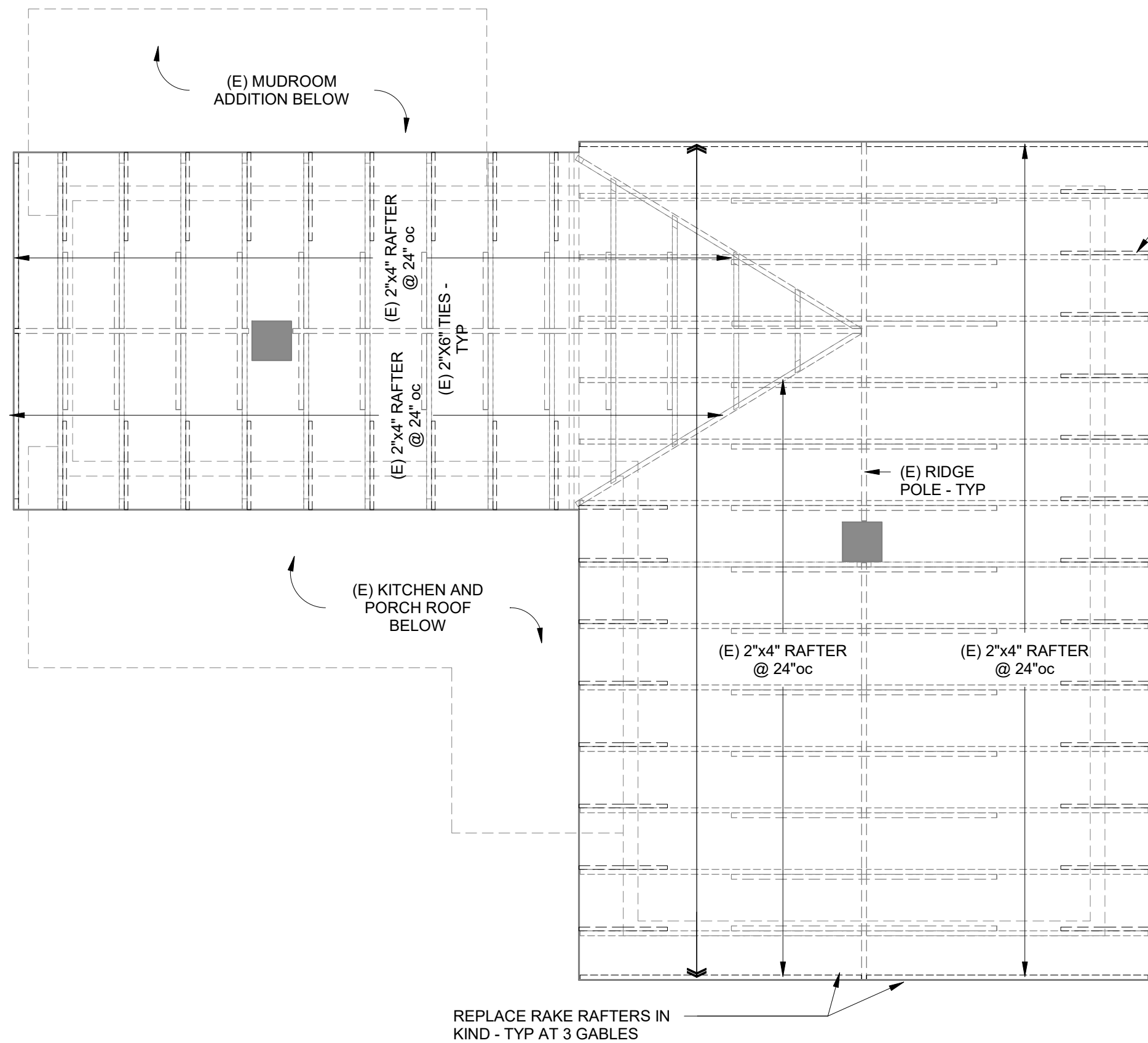
NEVINS TENANT
COTTAGE
57 Rope Ferry Road
Waterford, CT

CONSTRUCTION
DOCUMENTS - GRANT
SUBMISSION ONLY

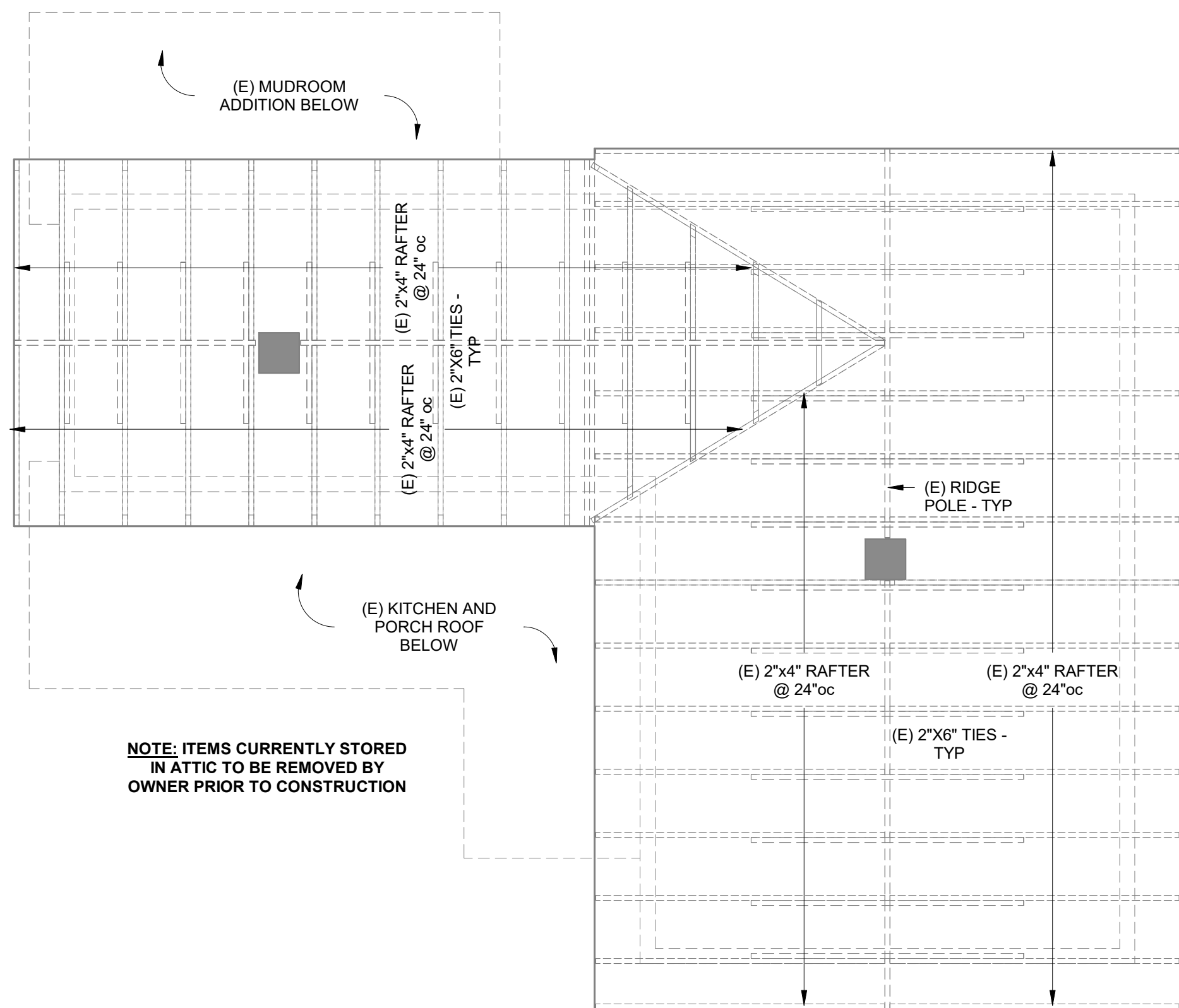
SECOND FLOOR AND
ROOF FRAMING PLANS

SCALE:	As indicated
PROJECT NUMBER:	12017
DATE:	September 24, 2020
DRAWN BY:	JJS
CHECKED BY:	JFN

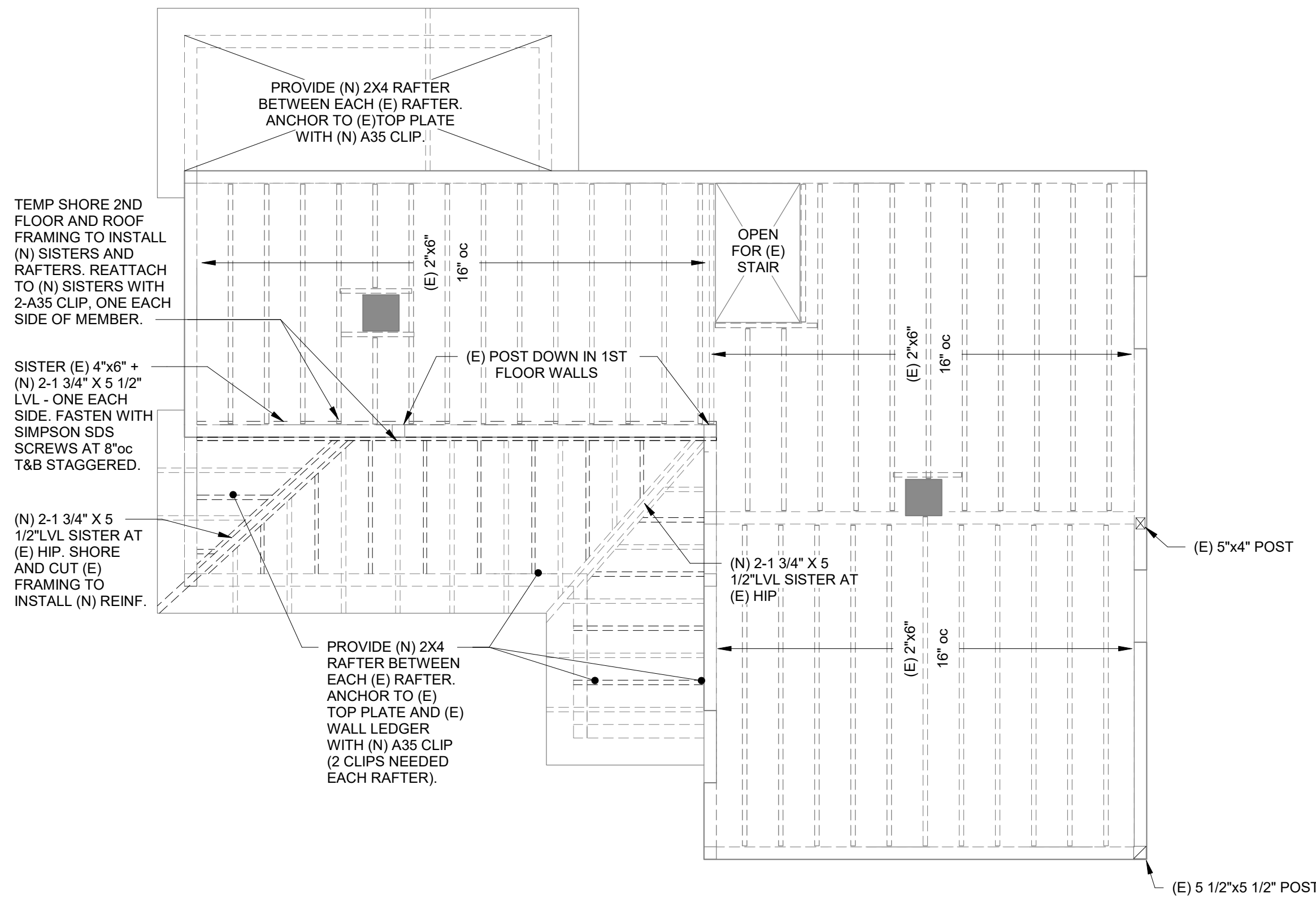
S1.1



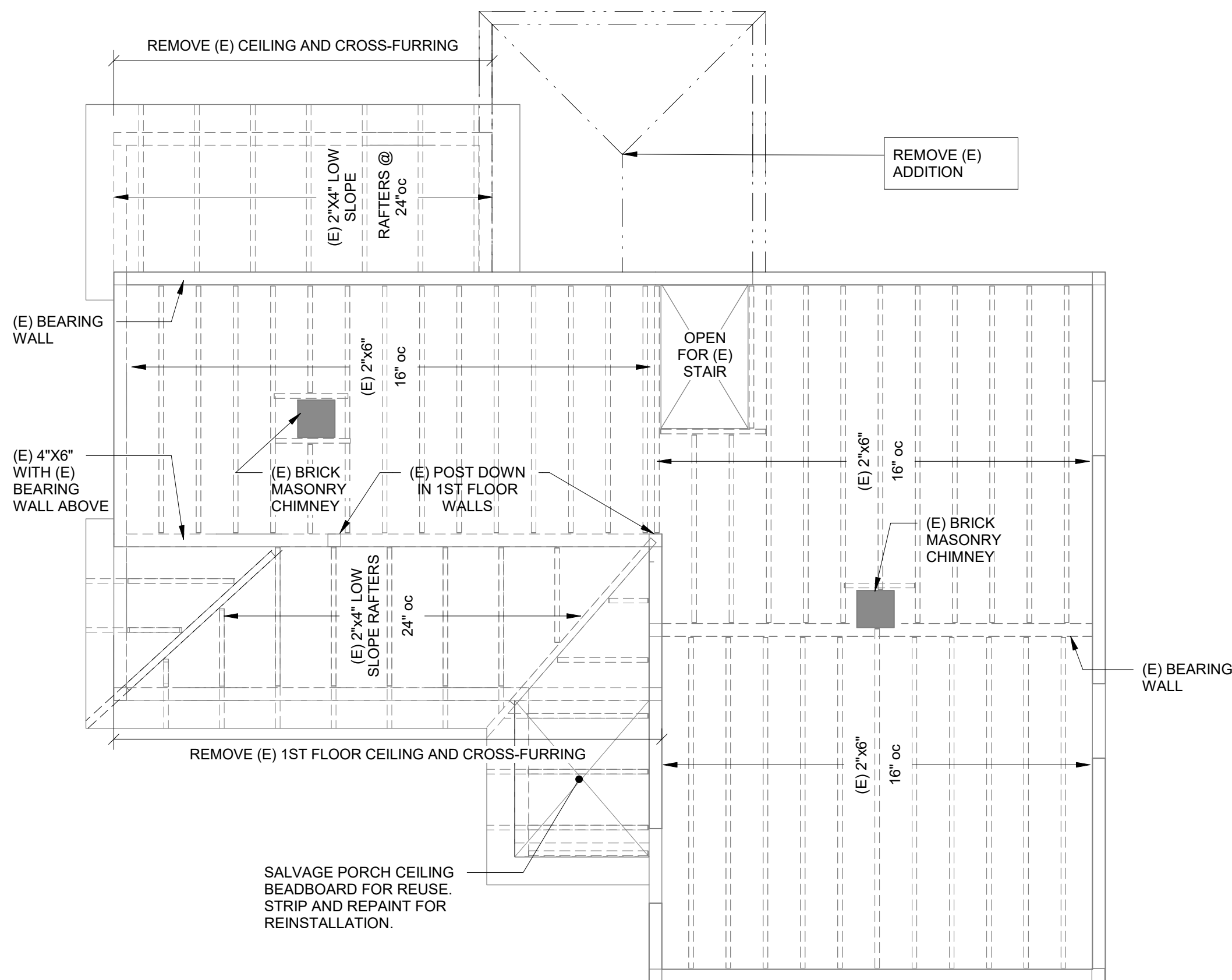
④ (N) ATTIC AND ROOF FRAMING PLAN
1/4" = 1'-0"



③ (E) ATTIC AND ROOF FRAMING PLAN
1/4" = 1'-0"



② (N) SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



① (E) SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



2	CDS FOR GRANT SUBMISSION	09.30.2020
1	FOR PRICING	09.04.2020
No.	DESCRIPTION	DATE
ISSUED DRAWINGS		

NOTES:

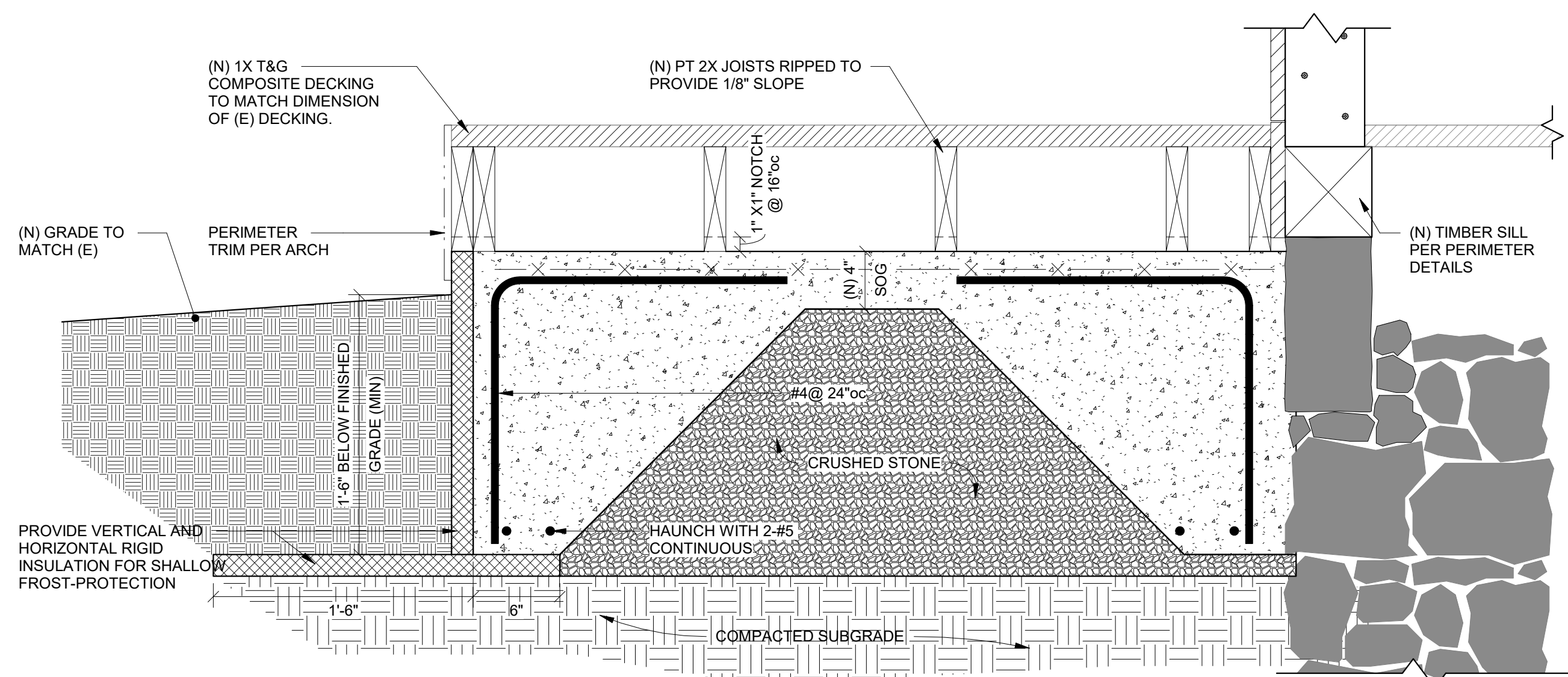
NEVINS TENANT
COTTAGE
57 Rope Ferry Road
Waterford, CT

CONSTRUCTION
DOCUMENTS - GRANT
SUBMISSION ONLY

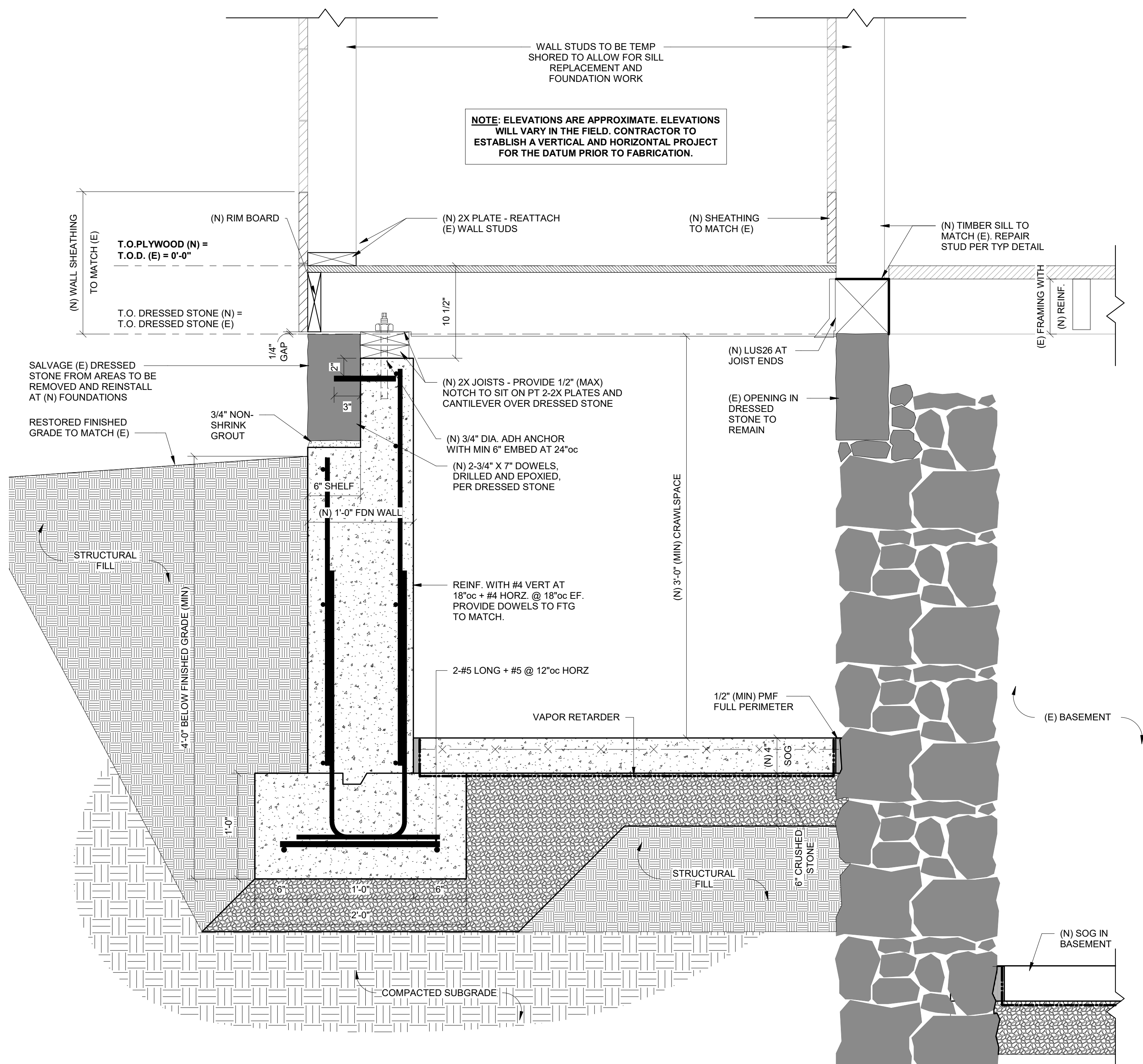
SECTIONS AND DETAILS

SCALE:	1 1/2" = 1'-0"
PROJECT NUMBER:	12017
DATE:	September 24, 2020
DRAWN BY:	JJS / ZL
CHECKED BY:	AJ

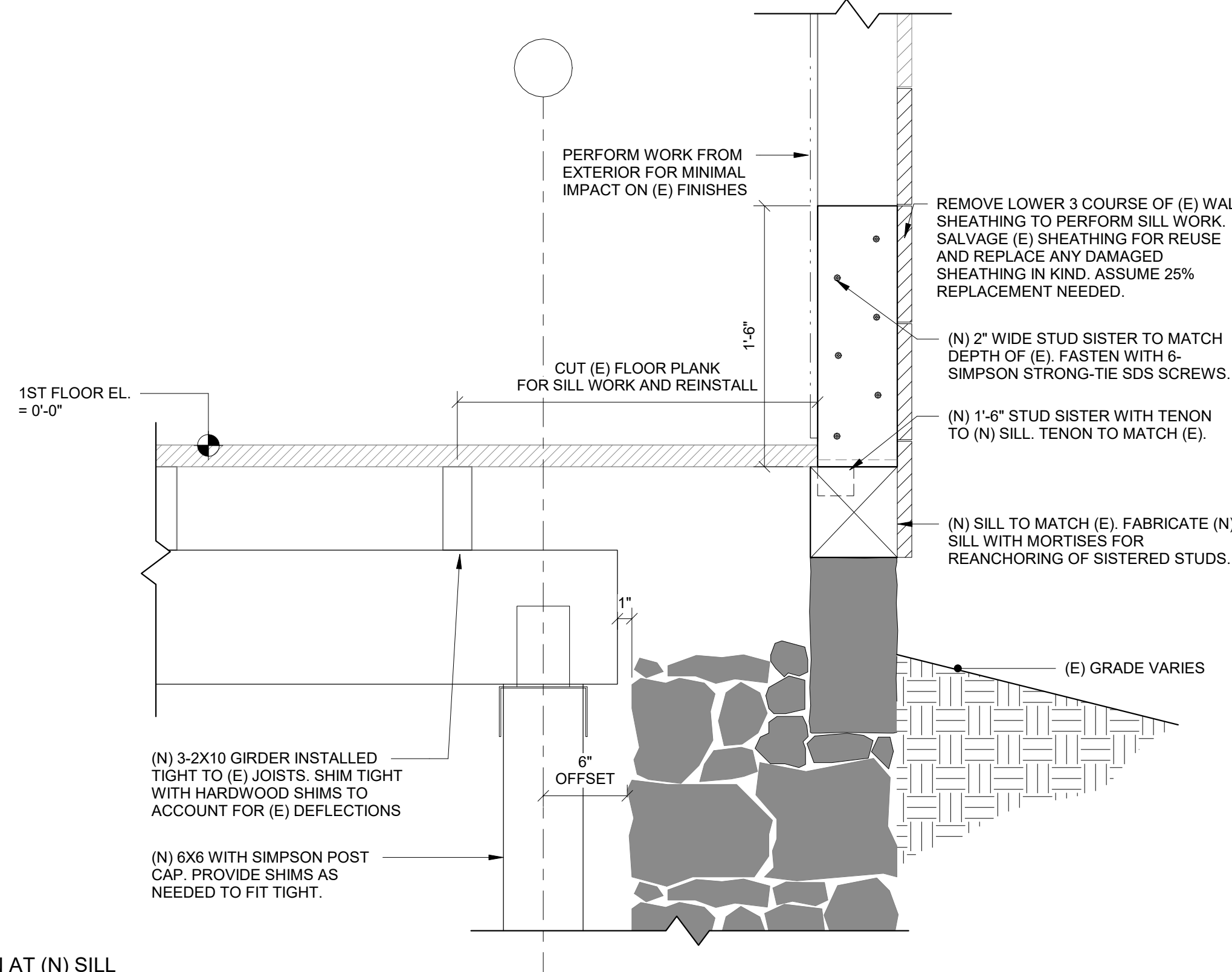
S2.0



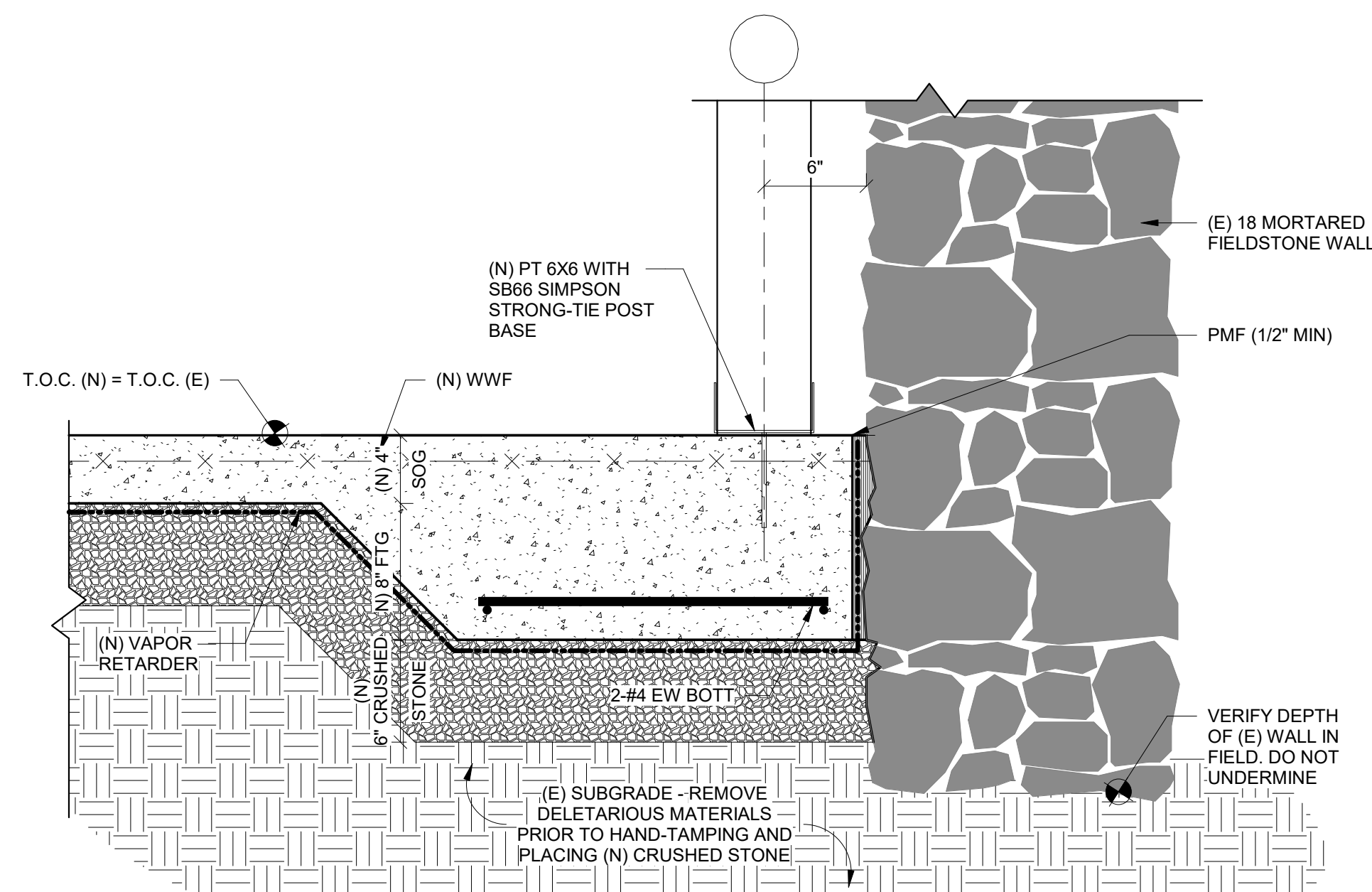
5 SECTION AT PORCH
1 1/2" = 1'-0"



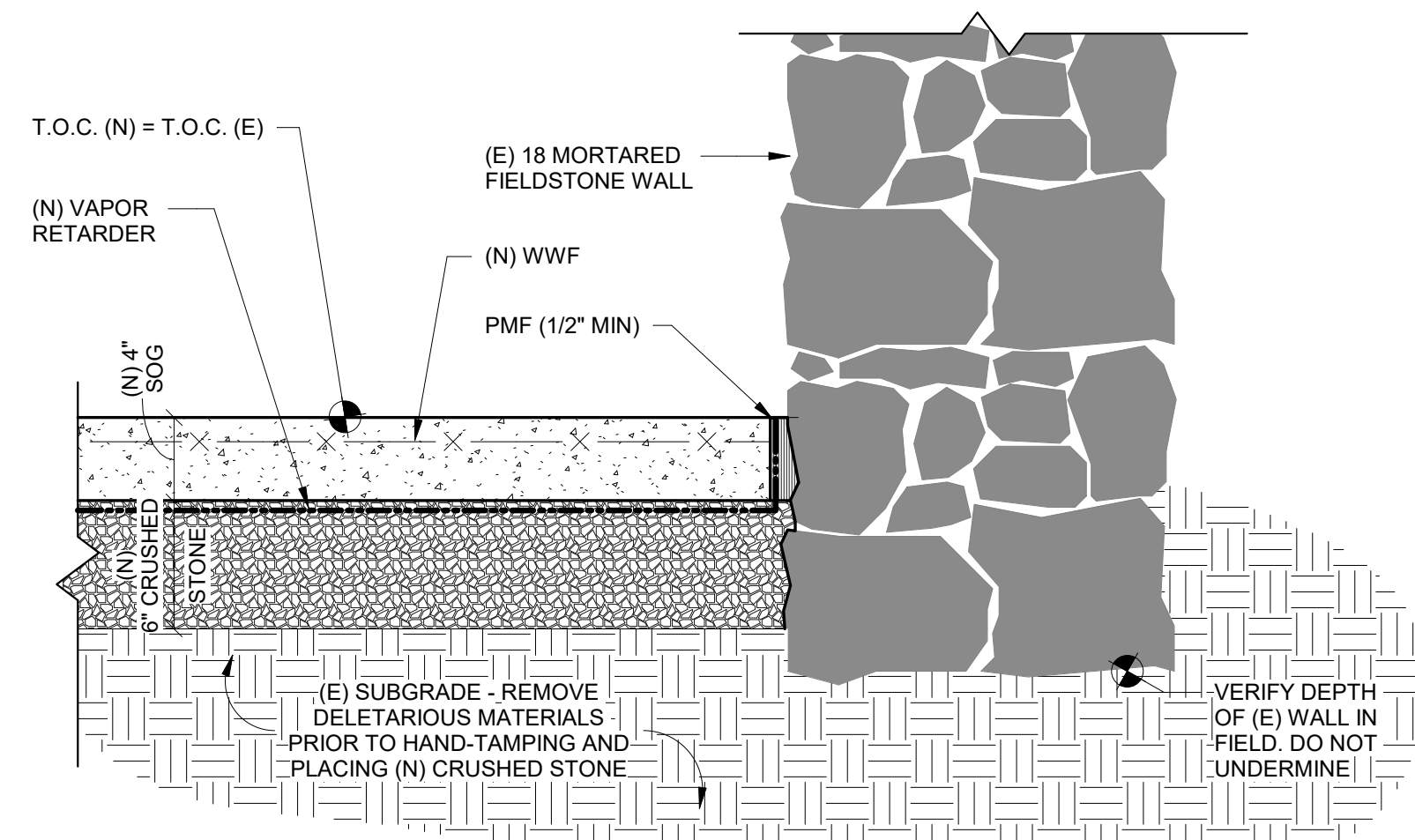
3 SECTION AT (N) MUDROOM FDN
1 1/2" = 1'-0"



4 SECTION AT (N) SILL
1 1/2" = 1'-0"



2 SECTION AT (N) EDGE POST
1 1/2" = 1'-0"



1 SECTION AT SOG EDGE
1 1/2" = 1'-0"

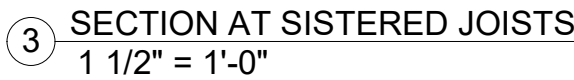
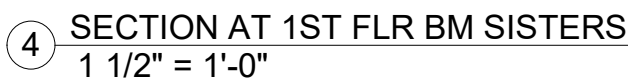
1. 2018 STATE OF CONNECTICUT STATE BUILDING CODE AND SUPPLEMENT.
2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING TO MAINTAIN THE STABILITY, SAFETY, AND LATERAL LOAD RESISTANCE OF THE BUILDING AND ITS INDIVIDUAL COMPONENTS THROUGHOUT CONSTRUCTION.
3. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS.
4. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES. OPENINGS NOT SPECIFICALLY SHOWN SHALL BE APPROVED BY THE ARCHITECT AND ENGINEER.
5. FOR RENOVATIONS AND ADDITIONS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
6. DO NOT SCALE DRAWINGS TO OBTAIN INFORMATION.
7. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR WATER/DAMP-PROOFING AND FIREPROOFING REQUIREMENTS.

1.	DESIGN LIVE LOADS:	
	FIRST FLOOR	100 PSF
	SECOND FLOOR	30 PSF
	ATTIC	10 PSF; NO STORAGE
2.	SNOW LOADS:	
	GROUND SNOW LOAD:	$P_g = 30$
	IMPORTANCE FACTOR:	$I_s = 1.0$
	FLAT ROOF SNOW LOAD:	$P_f = 30$ PSF
	SNOW EXPOSURE FACTOR:	$C_e = 1.0$
	THERMAL FACTOR:	$C_t = 1.0$
3.	WIND LOADS:	
	UTLIMATE DESIGN WIND SPEED, V_{asd}	105 MPH
	WIND EXPOSURE CATEGORY:	B
	WIND IMPORTANCE FACTOR:	$I_w = 1.15$

1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL MATERIAL OR CONTROLLED STRUCTURAL FILL HAVING AN ALLOWABLE BEARING VALUE OF 2 TONS PER SQUARE FOOT TOTAL LOAD PRESSURE AND SHALL BEAR LEAST 3'-6" BELOW FINISH GRADE WHERE EXPOSED TO FREEZING.
2. ELEVATIONS OF THE BOTTOM OF FOOTING SHOWN ON PLANS ARE FOR BIDDING PURPOSES AND SHALL BE LOWERED IF NECESSARY TO THE REQUIRED BEARING MATERIAL AS FOUND UPON EXCAVATION. IF THE REQUIRED BEARING MATERIAL IS NOT ENCOUNTERED AT ELEVATIONS SHOWN, NOTIFY ENGINEER IMMEDIATELY.
3. FOR SLAB ON GRADE AREAS WITHIN BUILDING PERIMETER, REMOVE ALL SURFACE TOPSOIL, PAVEMENT, AND OTHER UNSUITABLE MATERIALS. EXISTING GRANULAR MATERIAL MAY BE LEFT IN PLACE PROVIDED IT IS RECOMPACTED WITH A MINIMUM OF SIX PASSES OF 10 TON VIBRATORY ROLLER. ANY REMAINING FILL REQUIRED TO UNDERSIDE OF SLAB SHALL BE COMPACTED STRUCTURAL FILL.
4. FOUNDATION WALLS SHALL BE TEMPORARILY BRACED UNTIL FRAMED SLABS AND SLAB ON GRADE BRACING THESE WALLS Laterally AGAINST EARTH PRESSURE, WIND AND OTHER LATERAL FORCES ARE IN PLACE.
5. STEP FOOTINGS AS REQUIRED TO PASS UNDER MECHANICAL PIPING. PROVIDE SLEEVES FOR ALL PENETRATIONS IN FOUNDATION WALL.

	ALL CONCRETE IS DESIGNED BY ULTIMATE STRENGTH METHODS PER ACI 318 AND SHALL BE NORMAL WEIGHT (UNLESS INDICATED AS LIGHT WEIGHT ON PLANS) AIR ENTRAINED WITH A 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:	
	WALLS, FOUNDATIONS, INTERIOR SLABS ON GRADE	3000 PSI
2.	ALL REINFORCING BARS SHALL BE HIGH STRENGTH DEFORMED BARS ASTM A 615 - GRADE 60 U.N.O.	
3.	REINFORCING BARS FOR WELDING TO STRUCTURAL STEEL SHALL BE ASTM A706 WELDABLE REINFORCING.	
4.	DETAIL ALL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL - 1988" SHOW ON THE PLACING DRAWINGS THE NUMBER AND LOCATION OF ALL BAR SUPPORTS AND ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT IN POSITIONS INDICATED.	
5.	MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT WHEN NOT OTHERWISE INDICATED SHALL BE:	
	CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OF WEATHER:	3"
	CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OF WEATHER - BARS #5 AND SMALLER:	1 - 1/2"
	CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OF WEATHER - BARS LARGER THAN #5	2"
	COMUMENS BEAMS AND GIRDERS:	1 - 1/2"
	SLABS, WALLS NOT CROSS TO EARTH OR WEATHER:	3/4"
6.	NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. REBAR DEVELOPMENT / SPLICE LENGTH SHALL BE AS SHOWN IN THE TABLES AT THE END OF THIS SECTION UNLESS OTHERWISE NOTED. MAKE ALL BARS CONTINUOUS AROUND CORNERS.	
7.	SLABS, BEAMS AND WALLS SHALL HAVE NO JOINTS IN A HORIZONTAL PLANE. ANY STOP-IN CONCRETE WORK MUST BE MADE AT CENTER OF SPAN OR AT CENTER OF SUPPORT WITH VERTICAL BULKHEADS, HORIZONTAL KEYS AND REINFORCING CONTINUING THROUGH. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE STRUCTURAL ENGINEER.	
8.	WIRE MESH REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS, AND SHALL BE WIRE TIED TOGETHER. PROVIDE ADEQUATE SUPPORTS FOR MESH TO INSURE ITS LOCATION AS SHOWN ON DRAWINGS.	
9.	CONDUITS AND PIPES SHALL BE PLACED ABOVE BOTTOM BARS AND BELOW TOP BARS AND SHALL NOT EXCEED 1/3 THE CONCRETE THICKNESS AT ANY CROSS SECTION. PARALLEL RUNS SHALL BE SPACED A MINIMUM OF 6" DIAMETERS ON CENTER. NO ALUMINUM OR COATED CONDUIT PIPE SHALL BE USED.	

1. ALL FRAMING LUMBER SHALL BE DRY (19% MAXIMUM MOISTURE CONTENT) SPF U.S. NO. 1 SILL SHALL BE WHITE OAK. PRESSURE TREATED SOUTHERN PINE SHALL BE USED FOR GROUND CONTACT, SILL PLATES, OR EXTERIOR USE.
- STUDS SHALL BE STUD GRADE OR BETTER
- ALL OTHER MEMBERS SHALL BE NO. 2 OR BETTER.
- FOR EXPOSED FRAMING SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE 1" x 4" CROSS-BRIDGING FOR ALL WOOD JOISTS AT 8'-0" O.C. MAXIMUM SPACING AND 2x SOLID BLOCKING BETWEEN JOISTS AT ALL SUPPORTS AND PARTITIONS.
3. ALL OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS UNLESS OTHERWISE NOTED ON PLANS.
4. ALL OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS UNLESS OTHERWISE NOTED ON PLANS.
5. METAL CONNECTOR HARDWARE SHOWN ON PLANS AND DETAILS ARE SIMPSON STRONG-TIE CONNECTORS AND ARE SELECTED FOR LOAD REQUIREMENTS. SUBSTITUTION IS PERMITTED IF LOAD CAPACITIES OF ALTERNATE ARE OF EQUAL OR GREATER CAPACITY THAN COMPARABLE SIMPSON CONNECTOR. FASTENING SHALL BE PER MANUFACTURER'S REQUIREMENTS.



2	CDS FOR GRANT SUBMISSION	09.30.2020
1	FOR PRICING	09.04.2020
No.	DESCRIPTION	DATE

NOTES:

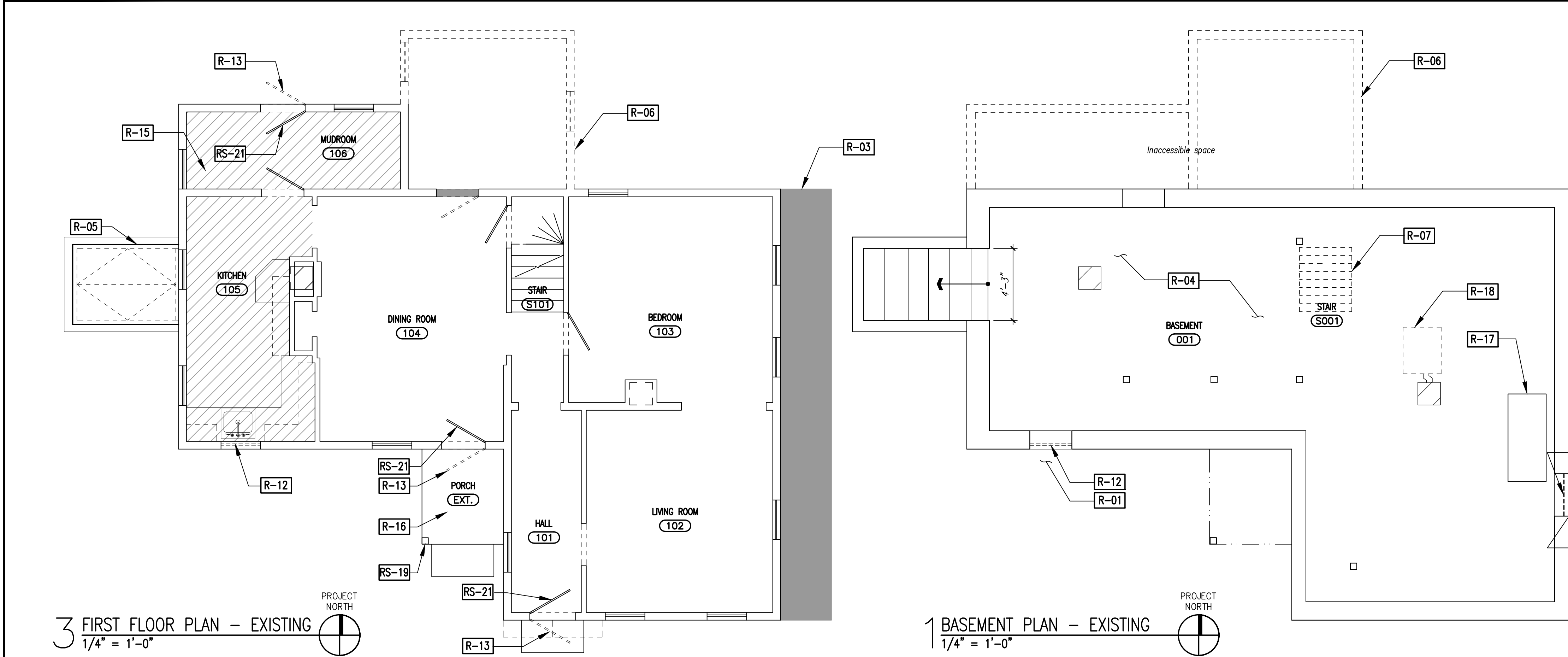
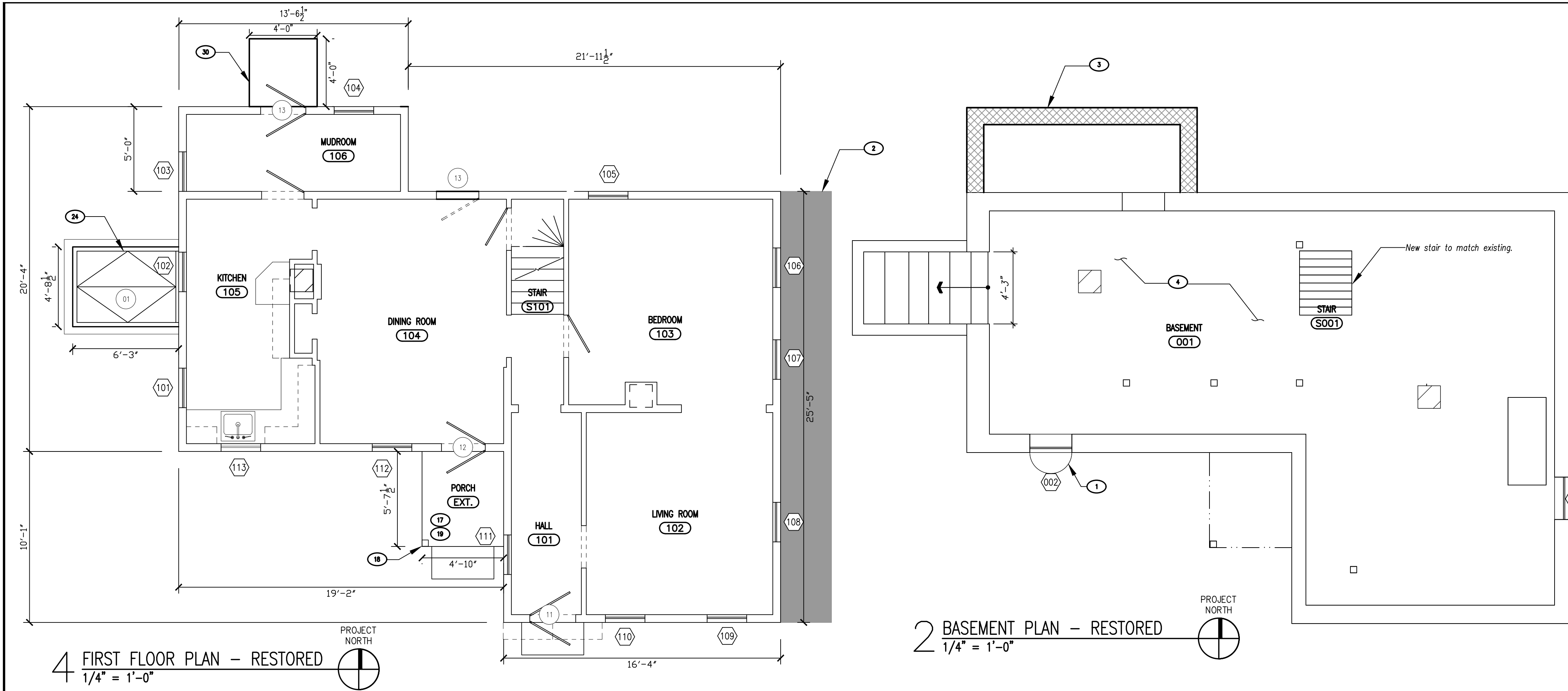
NEVINS TENANT
COTTAGE
57 Rope Ferry Road
Waterford, CT

CONSTRUCTION
DOCUMENTS - GRANT
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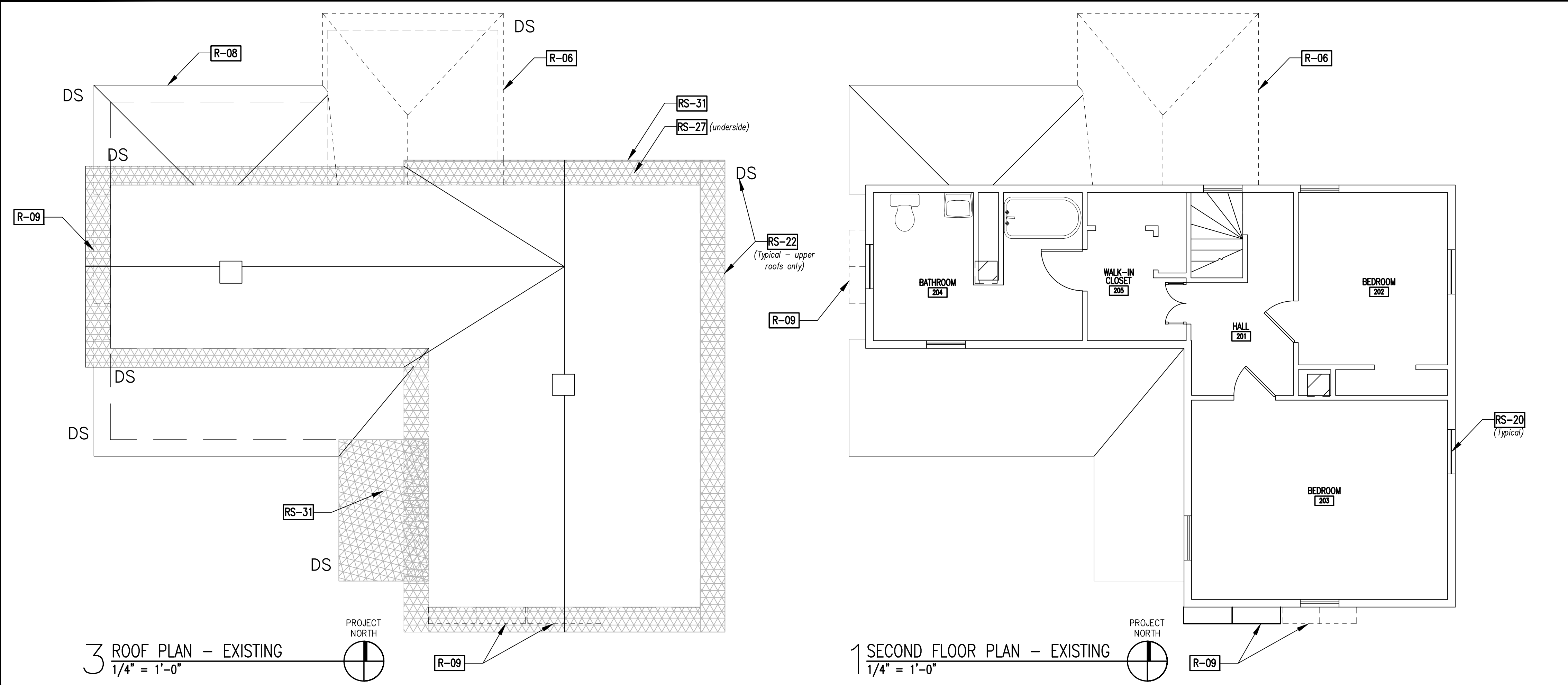
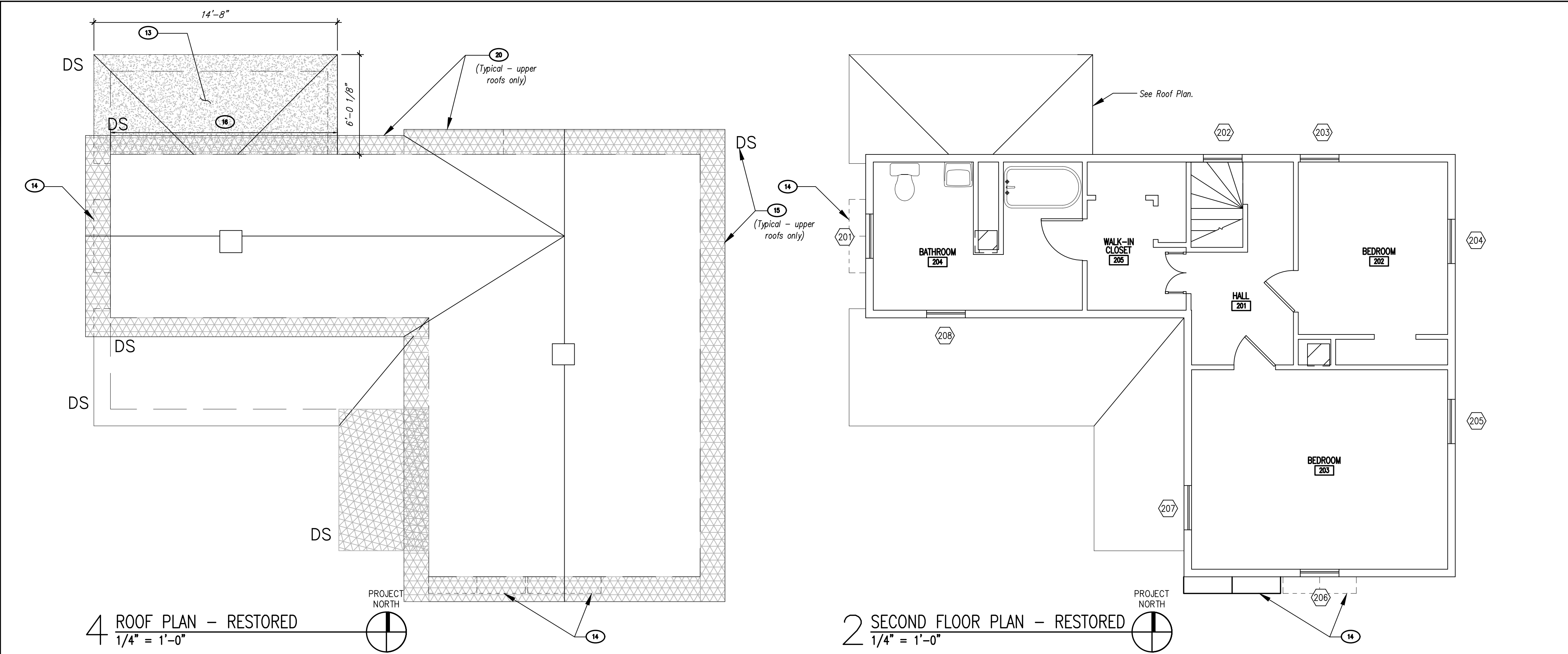
GENERAL NOTES, SECTION, & TYPICAL DETAILS

SCALE:	As indicated
PROJECT NUMBER:	12017
DATE:	September 24, 2020
DRAWN BY:	Author
CHECKED BY:	Checker

S3.0



REMOVALS	GENERAL NOTES	
<i>REMOVE THE FOLLOWING:</i> R-01 Soil @ Exist. Bsm't window apr'g R-02 Soil for localized regrading (regrd'g on site) R-03 Soil for new drainage strip R-04 Bsm't slab - See Struct. R-05 Bsm't hatch - wd. sidewall & hatch doors R-06 Den addition - See Struct. R-07 Bsm't stair - See Struct. R-08 Low-slope roof & flashings R-09 Roof @ window head & flashings R-10 Clapboard siding, ext. window casing & water table R-11 Deteriorated corner bd.; fascia & flat trim. See Allowances. R-12 Non-Historic window R-13 Non-Historic storm panel (door & window) R-14 Shutter (retain one for replacement-in-kind) R-15 Interior Clg. Finish - See Struct. R-16 Porch floor & structure - See Struct. R-17 Oil tank & fill (pump oil for Owner) R-18 Furnace	- Do not scale Drawings - All corner angles are 90° unless noted or dimensioned otherwise. - Base Elevations 0'-0" is established to be top of existing 1st floor fin. floor. - Dimensions with slash (architectural tic) type terminators are typically to face concrete, masonry, rough framing etc. - Dimensions with dot type terminators are to centerlines of columns, partitions, doors, windows and other assemblies or equipment. - Dimensions with arrow head type terminators show required clearances between finish surfaces. - All existing improvements, paving, curbs, structures, and plant material to remain which are damaged by the Contractor will be restored or replaced to their original condition by the Contractor without compensation.	
REMOVE & SALVAGE <i>REMOVE & SALVAGE for restoration / reinstallation:</i> RS-19 Porch column RS-20 Wood window sash, frame & hdw. See Sched. RS-21 Wood Door & Hardware. See Sched. RS-22 Gutters & downspouts RS-23 Ceiling light fixture RS-24 Wall mounted light fixture RS-25 Historic Plaque RS-26 Shutter pintels RS-27 Bead, Bd. ceiling, eave & rake soffit for structural repair / Condition. See Allowances & Unit Prices RS-28 Moulded eave, rake trim & bed mould. See Allowances & Unit Prices RS-29 Window and door hood including framing, trim & flashings RS-30 Standing & Running Trim, including corner bd., fascia, moulded shapes. Retain shapes for replication in-kind w/ new knives RS-31 Eave and Rake Soffit boards RS-32 Sheathing board	NEW WORK - New enclosure @ bsm't window well. Provide 6" deep $\frac{3}{4}"$ stone base - New steel edging w/ filter fabric & 6" deep $\frac{3}{4}"$ stone. - New fdn. & ftg. See Struct. - New slab. See Struct. - New siding, water table, window casings to match exist. - Restore window sash, frame, sill & hardware. - New head flashings at windows & doors - New exterior storm panel - New shutters & restored or replace-in-kind hardware - Restore Door, frame, sill & hardware. - Restore door surround - Exterior painting (all surfaces, new & old) - New low-slope roof, gutters, DS & sidewall flashings - New copper roof & sidewall flashings. See 6/A5.0 - Reinstall exist. (cleaned) gutter & downspout - New sidewall flashing - New porch deck, trim & sidewall flashings - Restore & reinstall porch column - Restore & reinstall bead bd. ceiling - Reinstall eave / rake bd. bd. soffit & moulding. See Allowances & Unit Prices - Reinstall light fixture - Reinstall historic plaque - New Bsm't stair - See Struct. - New bsm't hatch sidewall & doors - Dutchman infill - New spot painting. See Allowances & Unit Prices - New HVAC. See Allowances - New Standing & Running Trim, including corner bd., fascia & molded shapes. - New sheathing board to match existing (see Allowances) - New PT wood entry platform on 6" gravel, adjacent to ext'g building but not attached. - Relocated fill from area of basement hatch.	
REMOVE if deteriorated <i>REMOVE ONLY IF DETERIORATED (See Allowances & Unit Prices):</i> RS-32 Sheathing board	SYMBOLS KEY Window Tag Door Tag Room Name Room Tag Underside of roof overhang - See Note RS-31 for related scope. Scope of low slope roof replacement. Location of drip edge/gravel stop.	Stabilization and Exterior Rehabilitation Nelvins Tenant Cottage 57 Rope Ferry Road Waterford, CT 06385 DRAWING TITLE: BASEMENT & 1ST FLOOR PLAN EXISTING & RESTORED Scale As Noted Project No. 20207.00 Date 09.28.20 REVISIONS NO. DATE DESC. THESE DRAWINGS AND SPECIFICATIONS ARE THE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS CANNOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSES OTHER THAN AS PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF NELSON & EDWARDS COMPANY ARCHITECTS, LLC. ©NELSON & EDWARDS COMPANY ARCHITECTS, LLC Sheet No. A1.0



REMOVALS

REMOVE THE FOLLOWING:

- R-01** Soil @ Exist. Bsm't window apr'g
- R-02** Soil for localized regrading (regrd'g on site)
- R-03** Soil for new drainage strip
- R-04** Bsm't slab - See Struct.
- R-05** Bsm't hatch - wd. sidewall & hatch doors
- R-06** Den addition - See Struct.
- R-07** Bsm't stair - See Struct.
- R-08** Low-slope roof & flashings
- R-09** Roof @ window hood & flashings
- R-10** Clapboard siding, ext. window casing & water table
- R-11** Deteriorated corner bd.; fascia & flat trim. See Allowances.
- R-12** Non-Historic window
- R-13** Non-Historic storm panel (door & window)
- R-14** Shutter (retain one for replacement-in-kind)
- R-15** Interior Clg. Finish - See Struct.
- R-16** Porch floor & structure - See Struct.
- R-17** Oil tank & fill (pump oil for Owner)
- R-18** Furnace

GENERAL NOTES

- Do not scale Drawings
- All corner angles are 90° unless noted or dimensioned otherwise.
- Base Elevations 0'-0" is established to be top of existing 1st floor fin. floor.
- Dimensions with slash (architectural tic) type terminators are typically to face concrete, masonry, rough framing etc.
- Dimensions with dot type terminators are to centerlines of columns, partitions, doors, windows and other assemblies or equipment.
- Dimensions with arrow head type terminators show required clearances between finish surfaces.
- All existing improvements, paving, curbs, structures, and plant material to remain which are damaged by the Contractor will be restored or replaced to their original condition by the Contractor without compensation.

NEW WORK

- New enclosure @ bsm't window well. Provide 6" deep 3/4" stone base
- New steel edging w/ filter fabric & 6" deep 3/4" stone.
- New fdn. & ftg. See Struct.
- New slab. See Struct.
- New siding, water table, window casings to match exist.
- Restore window sash, frame, sill & hardware.
- New head flashings at windows & doors
- New exterior storm panel
- New shutters & restored or replace-in-kind hardware
- Restore Door, frame, sill & hardware.
- Restore door surround
- Exterior painting (all surfaces, new & old)
- New low-slope roof, gutters, DS & sidewall flashings
- New copper roof & sidewall flashings. See 6/A5.0
- Reinstall exist. (cleaned) gutter & downspout
- New sidewall flashing
- New porch deck, trim & sidewall flashings
- Restore & reinstall porch column
- Restore & reinstall bead bd. ceiling
- Reinstall eave / rake bd. bd. soffit & moulding. See Allowances & Unit Prices
- Reinstall light fixture
- Reinstall historic plaque
- New Bsm't stair - See Struct.
- New bsm't hatch sidewall & doors
- Dutchman infill
- New spot painting. See Allowances & Unit Prices
- New HVAC. See Allowances
- New Standing & Running Trim, including corner bd, fascia & molded shapes.
- New sheathing board to match existing (see Allowances)
- New PT wood entry platform on 6" gravel, adjacent to ext'g building but not attached.
- Relocated fill from area of basement hatch.

REMOVE & SALVAGE

REMOVE & SALVAGE for restoration / reinstallation:

- RS-19** Porch column
- RS-20** Wood window sash, frame & hwr. See Sched.
- RS-21** Wood Door & Hardware. See Sched.
- RS-22** Gutters & downspouts
- RS-23** Ceiling light fixture
- RS-24** Wall mounted light fixture
- RS-25** Historic Plaque
- RS-26** Shutter pintels
- RS-27** Bead, Bd. ceiling, eave & rake soffit for structural repair / Condition. See Allowances & Unit Prices
- RS-28** Molded eave, rake trim & bed mould. See Allowances & Unit Prices
- RS-29** Window and door hood including framing, trim & flashings
- RS-30** Standing & Running Trim, including corner bd., fascia, molded shapes. Retain shapes for replication in-kind w/ new knives
- RS-31** Eave and Rake Soffit boards

REMOVE if deteriorated

REMOVE ONLY IF DETERIORATED (See Allowances & Unit Prices):

- RS-32** Sheathing board

SYMBOLS KEY

Window Tag

Door Tag

Room Name

Room Tag

Underside of roof overhang - See Note RS-31 for related scope.

Scope of low slope roof replacement.

Location of drip edge/gravel stop.

NELSON + EDWARDS COMPANY ARCHITECTS, LLC

156 MAIN STREET
BRANFORD, CONNECTICUT 06405
(203) 481-6611 Fax (203) 481-1992

Stabilization and Exterior Rehabilitation

Nevins Tenant Cottage
57 Rope Ferry Road
Waterford, CT 06385

DRAWING TITLE:
2nd FLOOR & ROOF PLANS
EXISTING & RESTORED

Scale As Noted
Project No. 20207.00
Date 09.28.20

REVISIONS
NO. DATE DESC.

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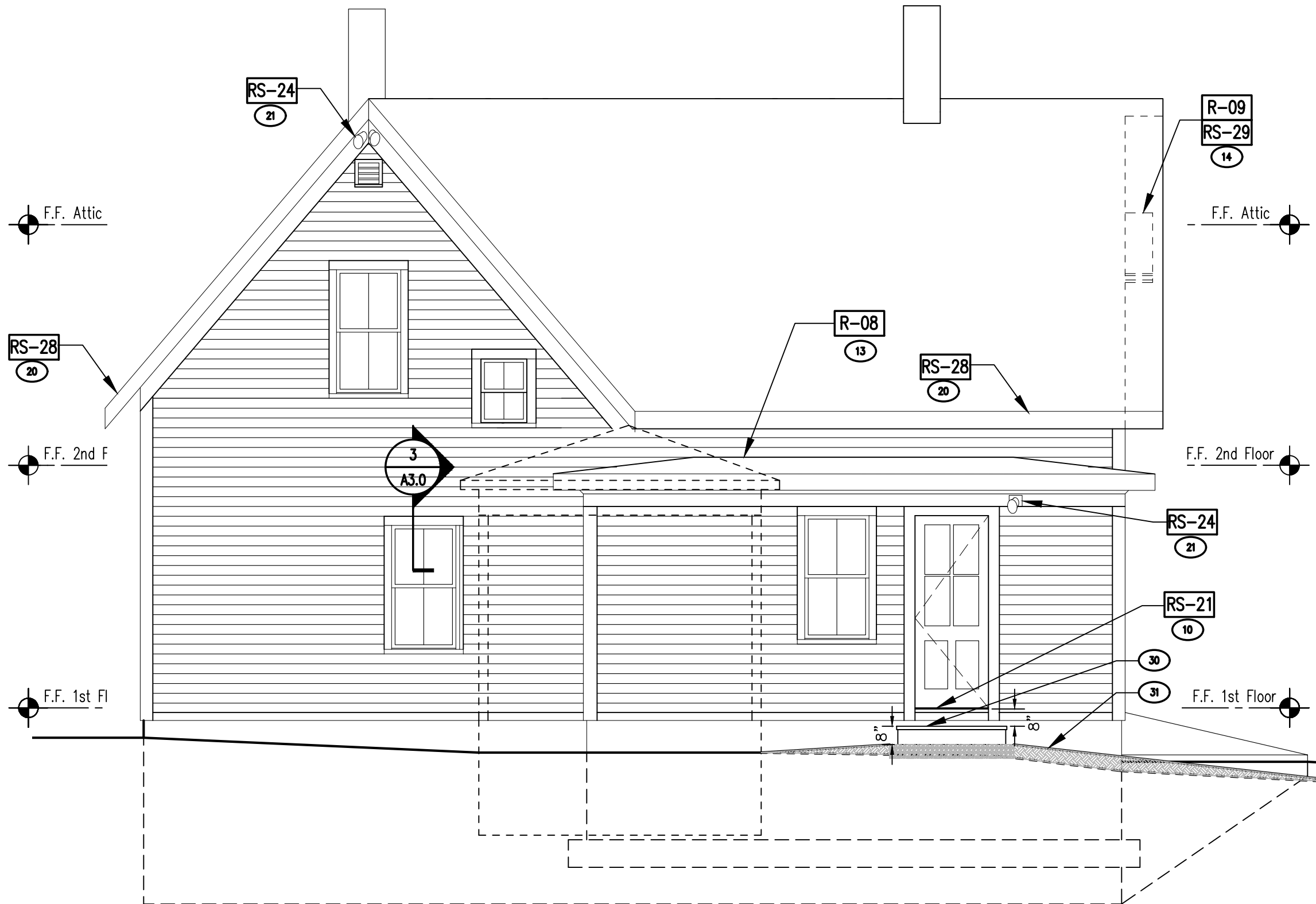
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Sheet No.

A11



1 NORTH ELEVATION – EXISTING
1/4" = 1'-0"



2 NORTH ELEVATION – RESTORED
1/4" = 1'-0"

- NOTES:**
1. GUTTERS NOT SHOWN ON ELEVATION DRAWINGS; SEE PHOTOGRAPHS.
2. TYPICAL ON THIS ELEVATION ARE THE FOLLOWING:
- | | |
|-------|----|
| R-10 | 5 |
| R-11 | 6 |
| R-13 | 7 |
| RS-20 | 8 |
| RS-30 | 12 |
| RS-32 | 28 |

REMOVALS

REMOVE THE FOLLOWING:

- R-01 Soil @ Exist. Bsm't window apr'g
- R-02 Soil for localized regrading (regrd'g on site)
- R-03 Soil for new drainage strip
- R-04 Bsm't slab – See Struct.
- R-05 Bsm't hatch – wd. sidewall & hatch doors
- R-06 Den addition – See Struct.
- R-07 Bsm't stair – See Struct.
- R-08 Low-slope roof & flashings
- R-09 Roof @ window hood & flashings
- R-10 Clapboard siding, ext. window casing & water table
- R-11 Deteriorated corner bd.; fascia & flat trim. See Allowances.
- R-12 Non-Historic window
- R-13 Non-Historic storm panel (door & window)
- R-14 Shutter (retain one for replacement--in-kind)
- R-15 Interior Clg. Finish – See Struct.
- R-16 Porch floor & structure – See Struct.
- R-17 Oil tank & fill (pump oil for Owner)
- R-18 Furnace

REMOVE & SALVAGE

REMOVE & SALVAGE for restoration / reinstallation:

- RS-19 Porch column
- RS-20 Wood window sash, frame & hdw. See Sched.
- RS-21 Wood Door & Hardware. See Sched.
- RS-22 Gutters & downspouts
- RS-23 Ceiling light fixture
- RS-24 Wall mounted light fixture
- RS-25 Historic Plaque
- RS-26 Shutter pintels
- RS-27 Bead. Bd. ceiling, eave & rake soffit for structural repair / Condition. See Allowances & Unit Prices
- RS-28 Moulded eave, rake trim & bed mould. See Allowances & Unit Prices
- RS-29 Window and door hood including framing, trim & flashings
- RS-30 Standing & Running Trim, including corner bd., fascia, moulded shapes. Retain shapes for replication in-kind w/ new knives
- RS-31 Eave and Rake Soffit boards

REMOVE if deteriorated

REMOVE ONLY IF DETERIORATED (See Allowances & Unit Prices):

- RS-32 Sheathing board

SYMBOLS KEY

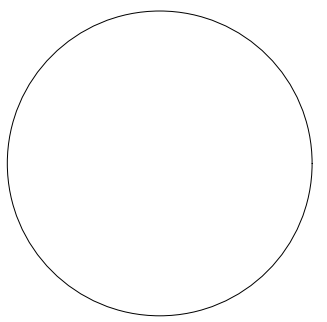
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- Door Tag
- ROOM NAME
- Room Tag
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- Dimensions with dot type terminators are to centerlines of columns, partitions, doors, windows and other assemblies or equipment.
- Dimensions with arrow head type terminators show required clearances between finish surfaces.
- All existing improvements, paving, curbs, structures, and plant material to remain which are damaged by the Contractor will be restored or replaced to their original condition by the Contractor without compensation.

NEW WORK

- New enclosure @ bsm't window well. Provide 6" deep 3/4" stone base
- New steel edging w/ filter fabric & 6" deep 3/4" stone.
- New fdn. & ftg. See Struct.
- New slab. See Struct.
- New siding, water table, window casings to match exist.
- Restore window sash, frame, sill & hardware.
- New head flashings at windows & doors
- New exterior storm panel
- New shutters & restored or replace-in-kind hardware
- Restore Door, frame, sill & hardware.
- Restore door surround
- Exterior painting (all surfaces, new & old)
- New low-slope roof, gutters, DS & sidewall flashings
- New copper roof & sidewall flashings. See 6/AS.O
- Reinstall exist. (cleaned) gutter & downspout
- New sidewall flashing
- New porch deck, trim & sidewall flashings
- Restore & reinstall porch column
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- Reinstall eave / rake bd. bd. soffit & moulding. See Allowances & Unit Prices
- Reinstall light fixture
- Reinstall historic plaque
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- New bsm't hatch sidewall & doors
- Dutchman infill
- New spot painting. See Allowances & Unit Prices
- New HVAC. See Allowances
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- New sheathing board to match existing (see Allowances)
- New PT wood entry platform on 6" gravel, adjacent to ext'g building but not attached.
- Relocated fill from area of basement hatch.



NELSON + EDWARDS COMPANY
ARCHITECTS, LLC
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BRANFORD, CONNECTICUT 06405
(203) 481-6611 Fax (203) 481-1992

Stabilization and Exterior Rehabilitation
Nevins Tenant Cottage
57 Rope Ferry Road
Waterford, CT 06385

DRAWING TITLE:
NORTH ELEVATION
EXISTING & RESTORED
Scale As Noted
Project No. 20207.00
Date 09.28.20

REVISIONS
NO. DATE DESC.

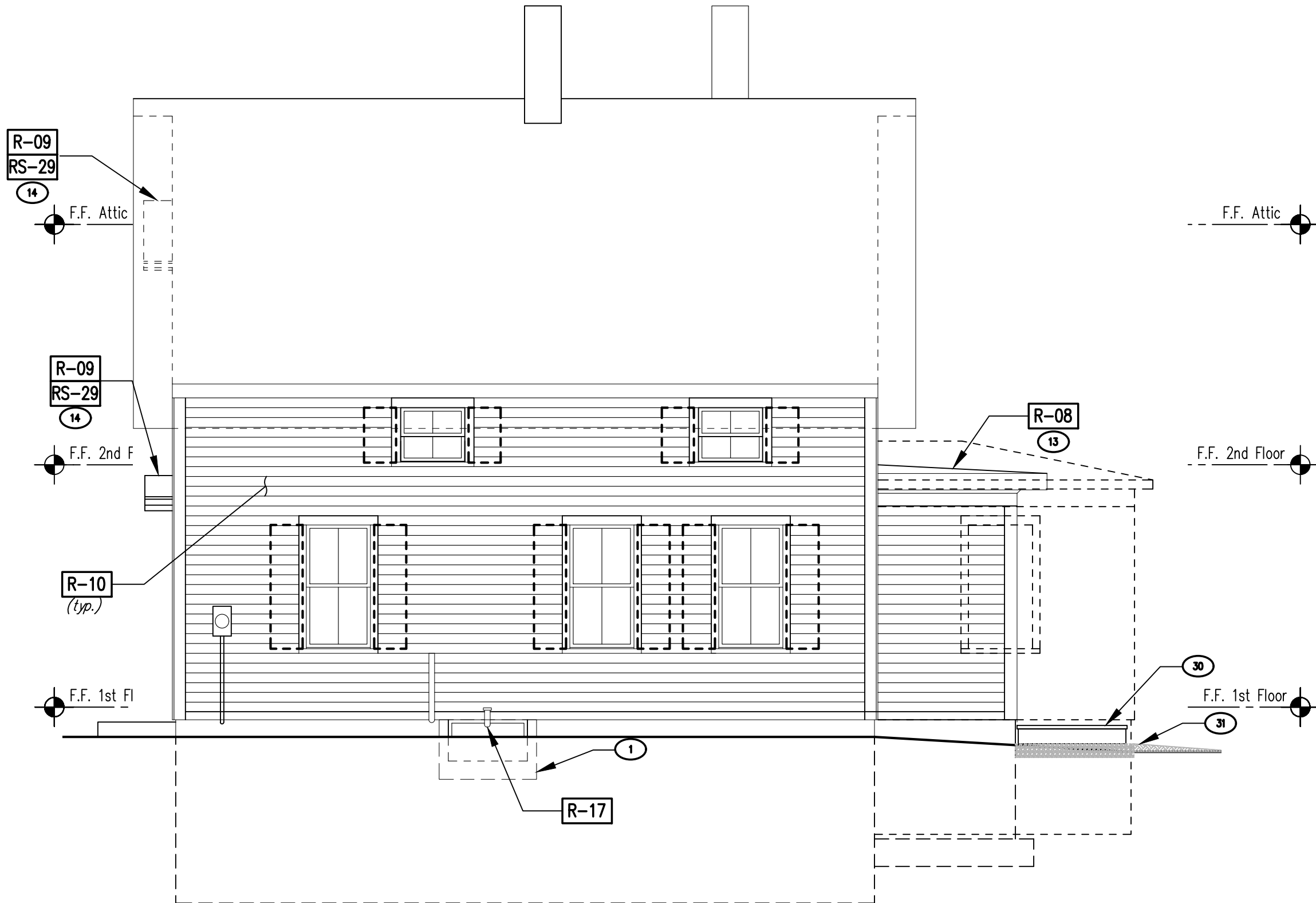
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Sheet No.

A2.0



1 EAST ELEVATION – EXISTING
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REMOVE if deteriorated

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SYMBOLS KEY

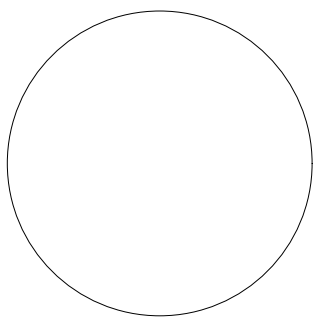
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- Door Tag
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- New slab. See Struct.
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- Restore window sash, frame, sill & hardware.
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BRANFORD, CONNECTICUT 06405
(203) 481-6611 Fax (203) 481-1992

Stabilization and Exterior Rehabilitation
Nevins Tenant Cottage
57 Rope Ferry Road
Waterford, CT 06385

DRAWING TITLE:
EAST ELEVATION
EXISTING & RESTORED
Scale As Noted
Project No. 20207.00
Date 09.28.20

REVISIONS
NO. DATE DESC.

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Sheet No.

A21



1 SOUTH ELEVATION – EXISTING
1/4" = 1'-0"



2 SOUTH ELEVATION – RESTORED
1/4" = 1'-0"

- NOTES:
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REMOVE if deteriorated

REMOVE ONLY IF DETERIORATED (See Allowances & Unit Prices):

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SYMBOLS KEY

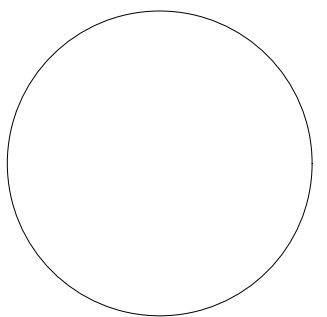
- Window Tag
- Door Tag
- ROOM NAME
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Stabilization and Exterior Rehabilitation
Nevins Tenant Cottage
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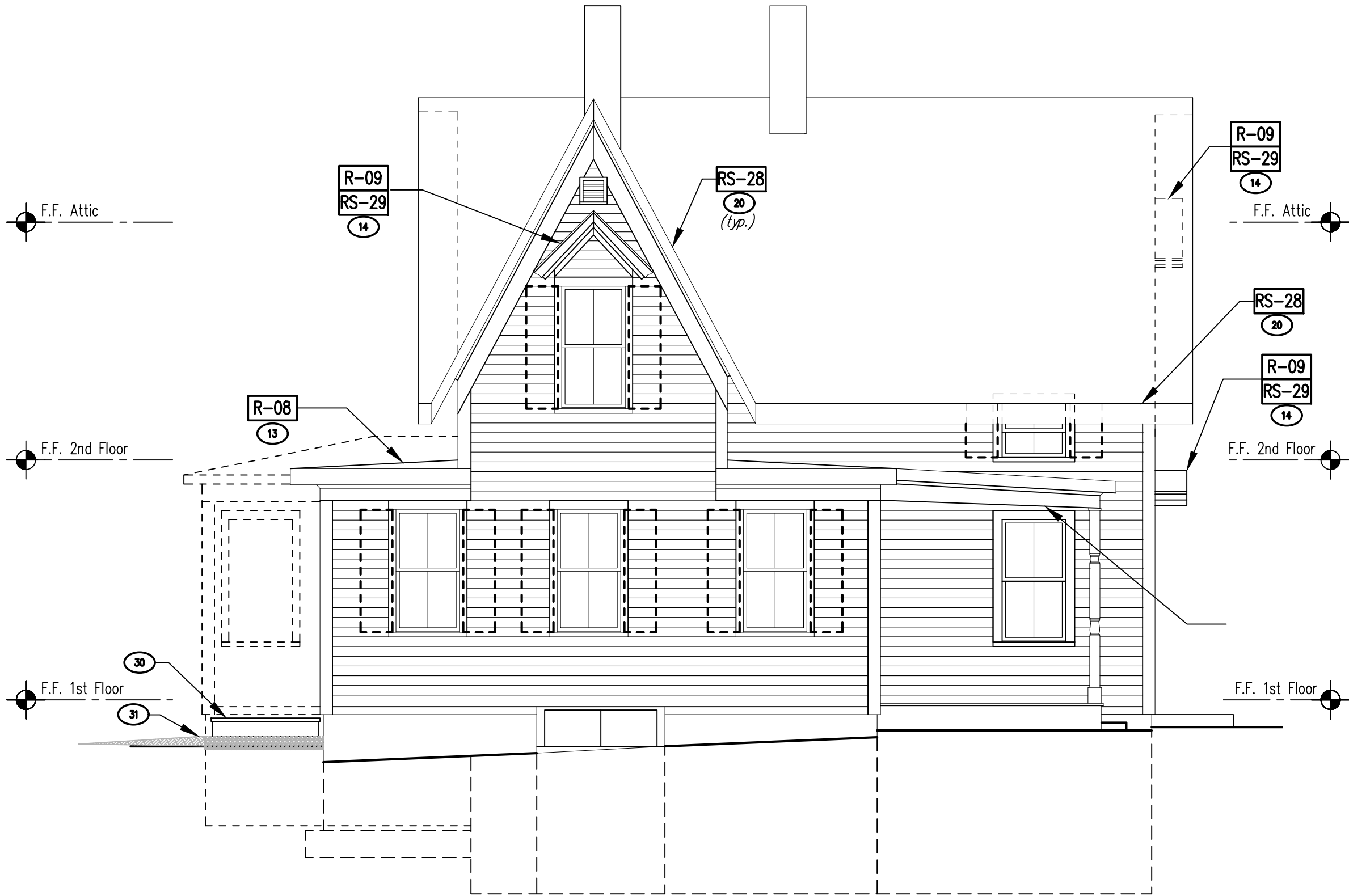
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Sheet No.



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2 WEST ELEVATION – RESTORED
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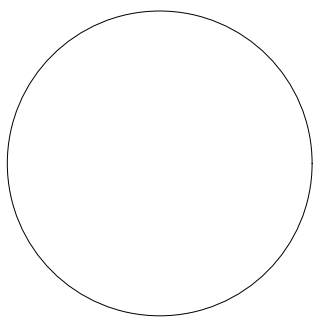
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Sheet No.

A2.3



Typical Type "A" window



Window #208 above low roof



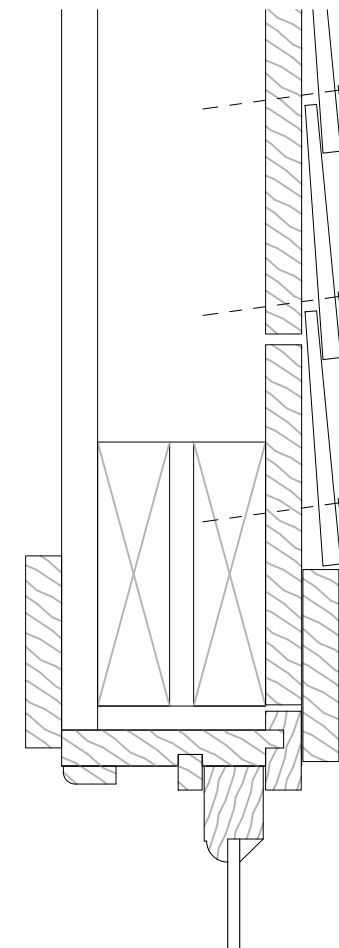
Ext'g window trim & sill



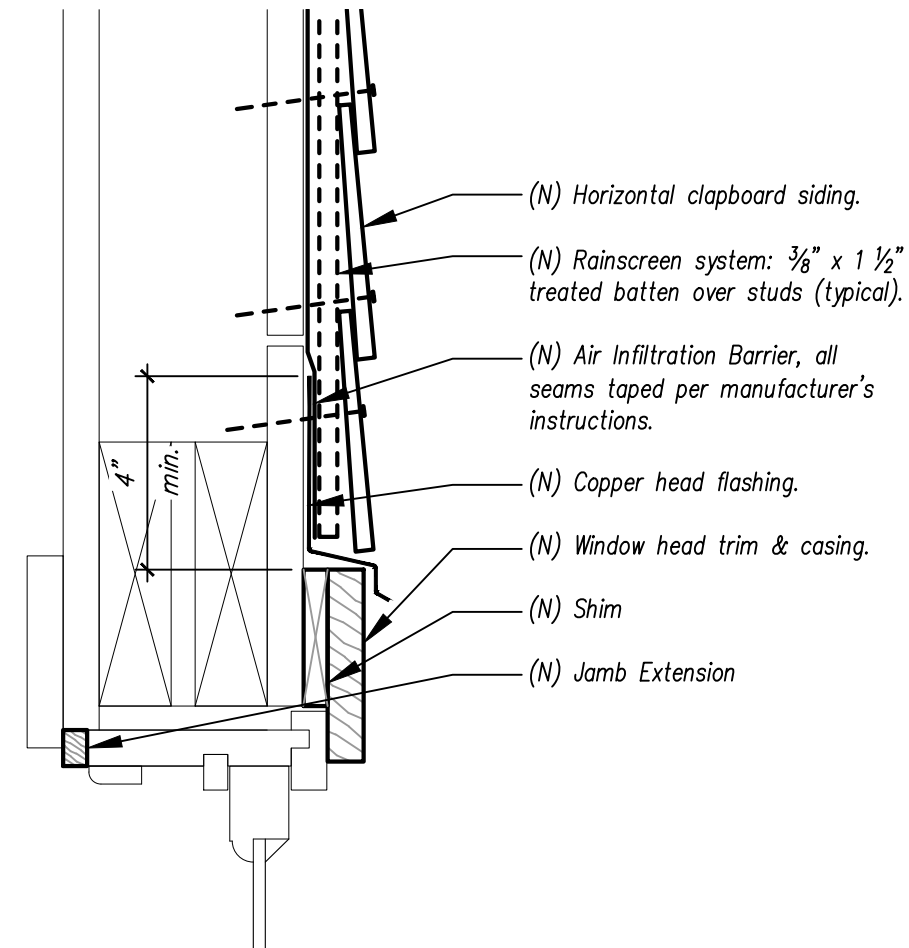
Condition of point on ext'g windows
(N) Copper head flashing (typ.)



Existing shutter (typ.)



EXISTING WINDOW
(DIMENSIONS MAY VARY)



RESTORED WINDOW INSTALLED
(DIMENSIONS MAY VARY)

3 TYPICAL WINDOW HEAD DETAIL – EXT'G & RESTORED

Scale: 3" = 1'-0"



Door No. 11

See detail 6/A5.0

(N) Replace wood casing at door (typ.).
Match existing width/length, but provide
material that is 3/8" thicker than existing
to maintain existing relative position to
new siding.

(N) Remove and replace existing storm
windows. See Window Schedule.

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to maintain existing relative position to
new siding.

Restore existing window sash, frame &
sill (typ.)

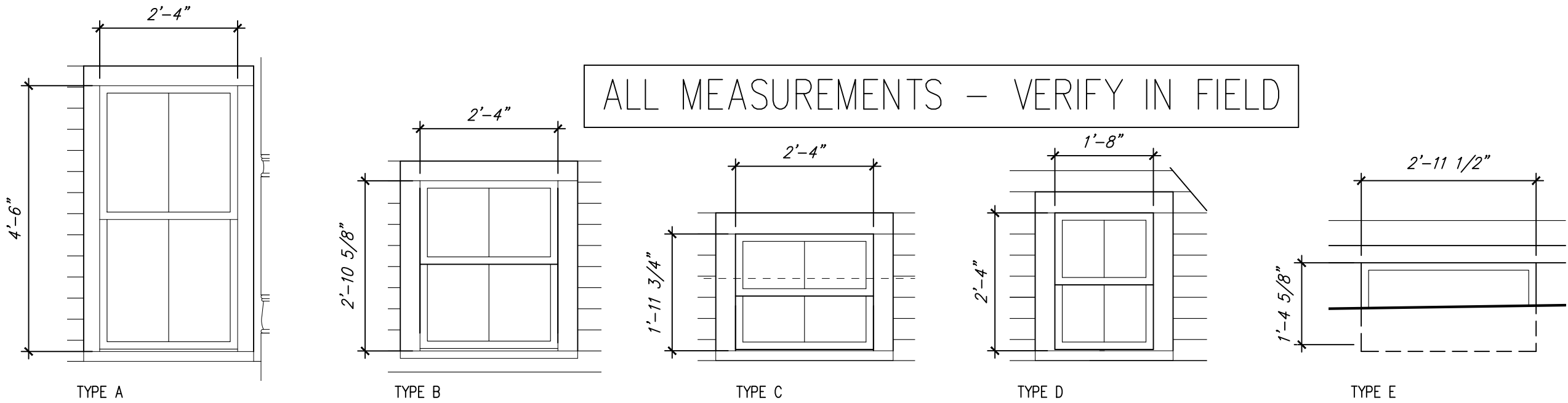
Note that new siding is to be installed
over rainscreen system. See 1 & 2/A5.0.



Typical ext'g window casing & storm window.

6 EXISTING CONDITIONS

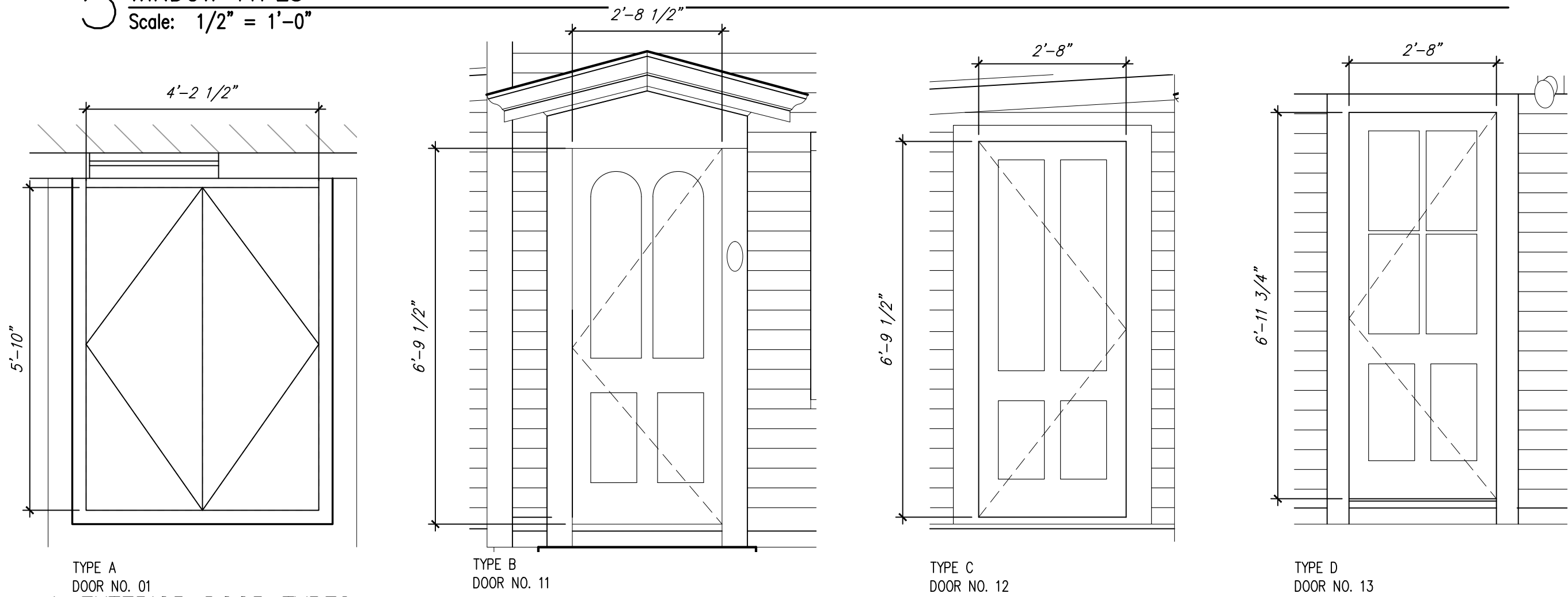
No Scale



ALL MEASUREMENTS – VERIFY IN FIELD

5 WINDOW TYPES

Scale: 1/2" = 1'-0"



TYPE A
DOOR NO. 01

TYPE B
DOOR NO. 11

TYPE C
DOOR NO. 12

TYPE D
DOOR NO. 13

4 EXTERIOR DOOR TYPES

Scale: 1/2" = 1'-0"

WINDOW SCHEDULE

WINDOW SCHEDULE																			
WINDOW MARK	MANUFACTURER	WINDOW TYPE					RESTORED OR NEW (MFCR'S MODEL No.)	SIZE			MATERIAL	FINISH			GLAZING		WOOD SHUTTERS STORM **	SCREEN	GENERAL REMARKS <i>All original windows to be restored. Non-original window to be replaced. New Storms, Screens and Shutters per schedule. See Project Manual Section 08 01 52.</i>
		A	B	C	D	E		ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	WALL THICKNESS		EXTERIOR FINISH	INTERIOR FINISH	HARDWARE FINISH					
001	EXISTING					X	RESTORED	2'-5 3/4"	1'-6"	1'-1"	Wood	Paint	Paint	T.B.D.	Insulated, clear				
002	EXISTING					X	RESTORED	2'-5 3/4"	1'-6"	1'-1"	Wood	Paint	Paint	T.B.D.	Insulated, clear				
101	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG	X	X	X	
102	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG	X	X	X	
103	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG	X	X	X	
104	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
105	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
106	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
107	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
108	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
109	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
110	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
111	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
112	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
113	MARVIN		X				WUDH	2'-6"	3'-0 5/8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Insulated, clear		X	X	X
201	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	X
202	EXISTING				X		RESTORED	X'-X"	X'-X 1/4"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
203	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
204	EXISTING			X			RESTORED	2'-6"	2'-1 3/4"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
205	EXISTING		X				RESTORED	2'-6"	2'-1 3/4"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
206	EXISTING	X					RESTORED	2'-6"	4'-8"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG	X	X	X	
207	EXISTING		X				RESTORED	2'-6"	2'-1 3/4"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	
208	EXISTING		X				RESTORED	2'-6"	2'-1 3/4"	5 1/2"	Wood	Paint	Paint	T.B.D.	Existing SG		X	X	

2 WINDOW SCHEDULE

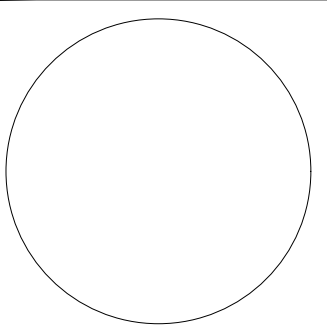
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DOOR SCHEDULE

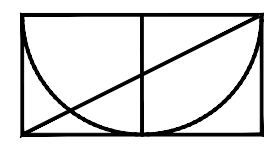
DOOR SCHEDULE																
FLOOR	DOOR NUMBER	ROOM	DOOR											FIRE RATING (minutes)	GENERAL REMARKS	
			Double Leaf Door Sliding Door	TYPE	SIZE			MANUFACT'R	TYPE/ MODEL No.	MATERIAL	FINISH	GLAZING	NEW STORM DOOR			NEW WEATHER STRIP
				WIDTH	HEIGHT	THICK.										
Bsmt	01	HATCH STAIR TO BASEMENT		A	51.19"	74.5"	n/a	Bilco BR-3	w/ Ext'n Pan'l	Metal	Paint					
1st FLOOR	11	EXTERIOR TO HALL		B	32 1/2"	81 1/2"	1 3/4"	Restore Ext'g		Wood	Paint	Restore Ext'g	X	X		
	12	EXTERIOR PORCH TO DINING ROOM		C	32"	81 1/2"	1 3/4"	Restore Ext'g		Wood	Paint	Restore Ext'g	X	X		
	13	EXTERIOR TO MUD RM. NORTH		D	32"	83 3/4"	1 3/4"	Restore Ext'g		Wood	Paint	Restore Ext'g	X	X		

1 DOOR SCHEDULE

No Scale



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Stabilization and Exterior Rehabilitation
Nevins Tenant Cottage
57 Rope Ferry Road
Waterford, CT 06385

DRAWING TITLE:
SCHEDULES
DOORS & WINDOWS
Scale As Noted
Project No. 20207.00
Date 09.28.20

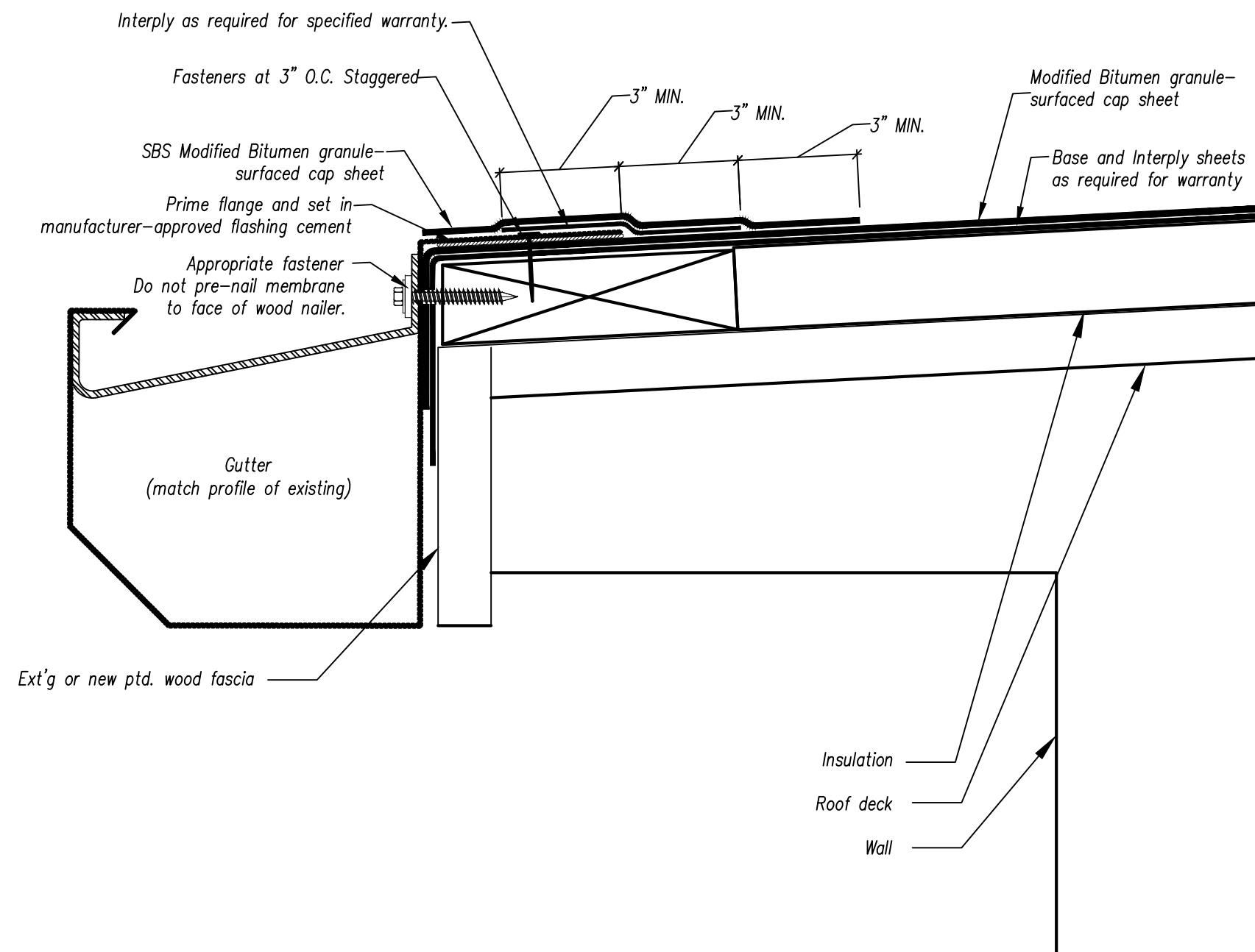
REVISIONS
NO. DATE DESC.

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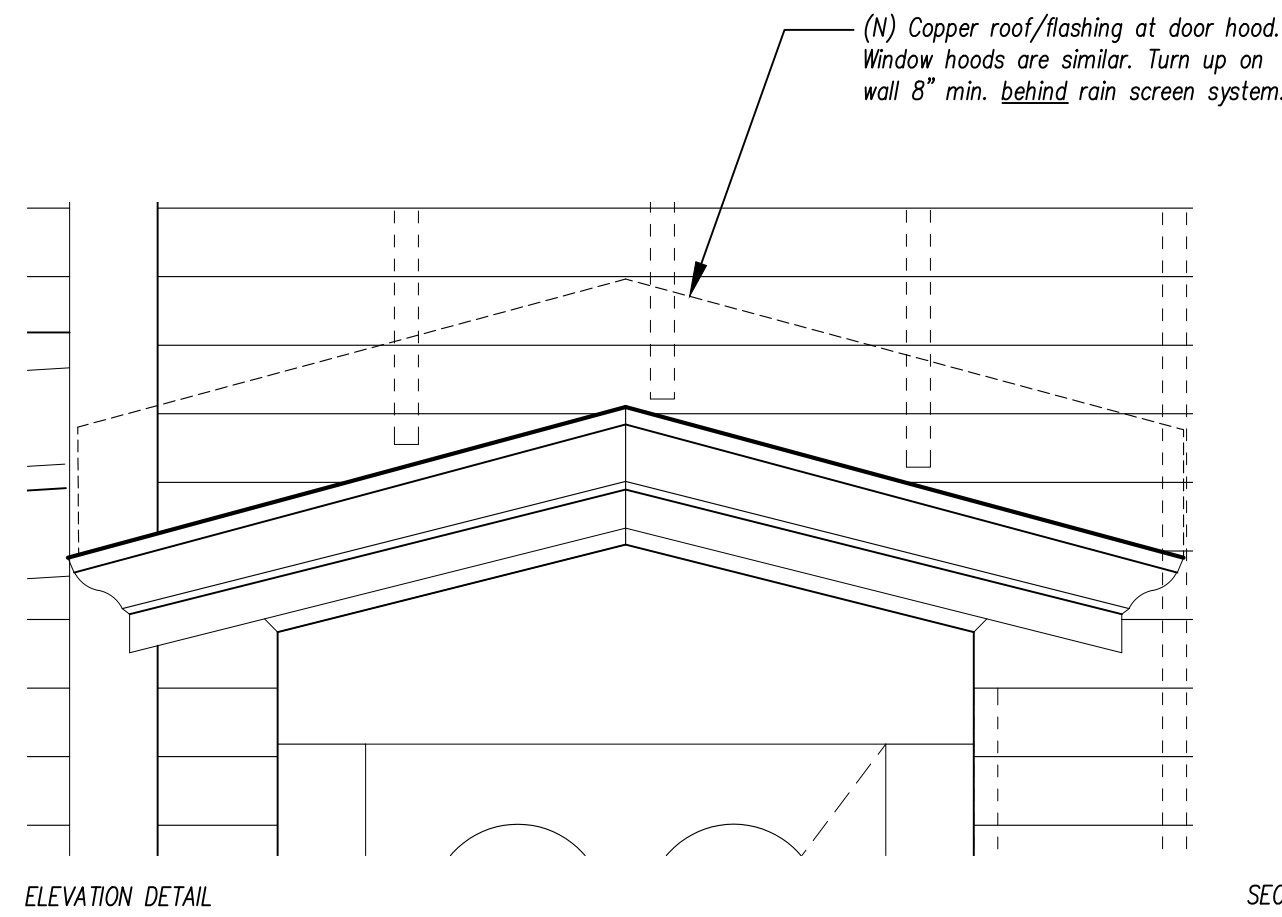
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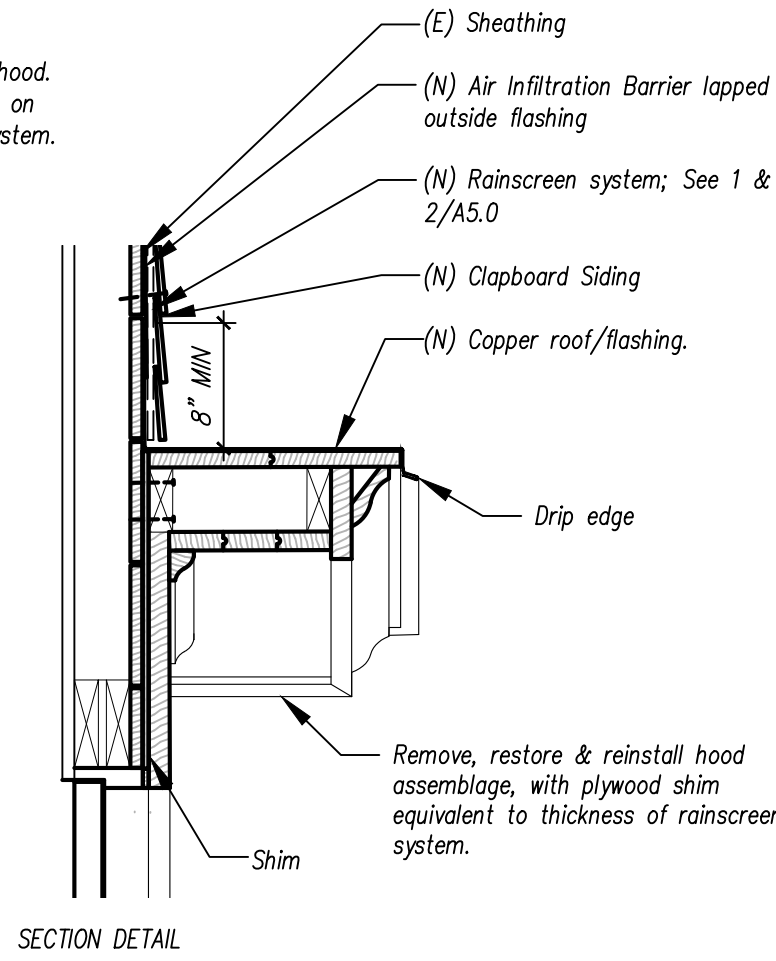
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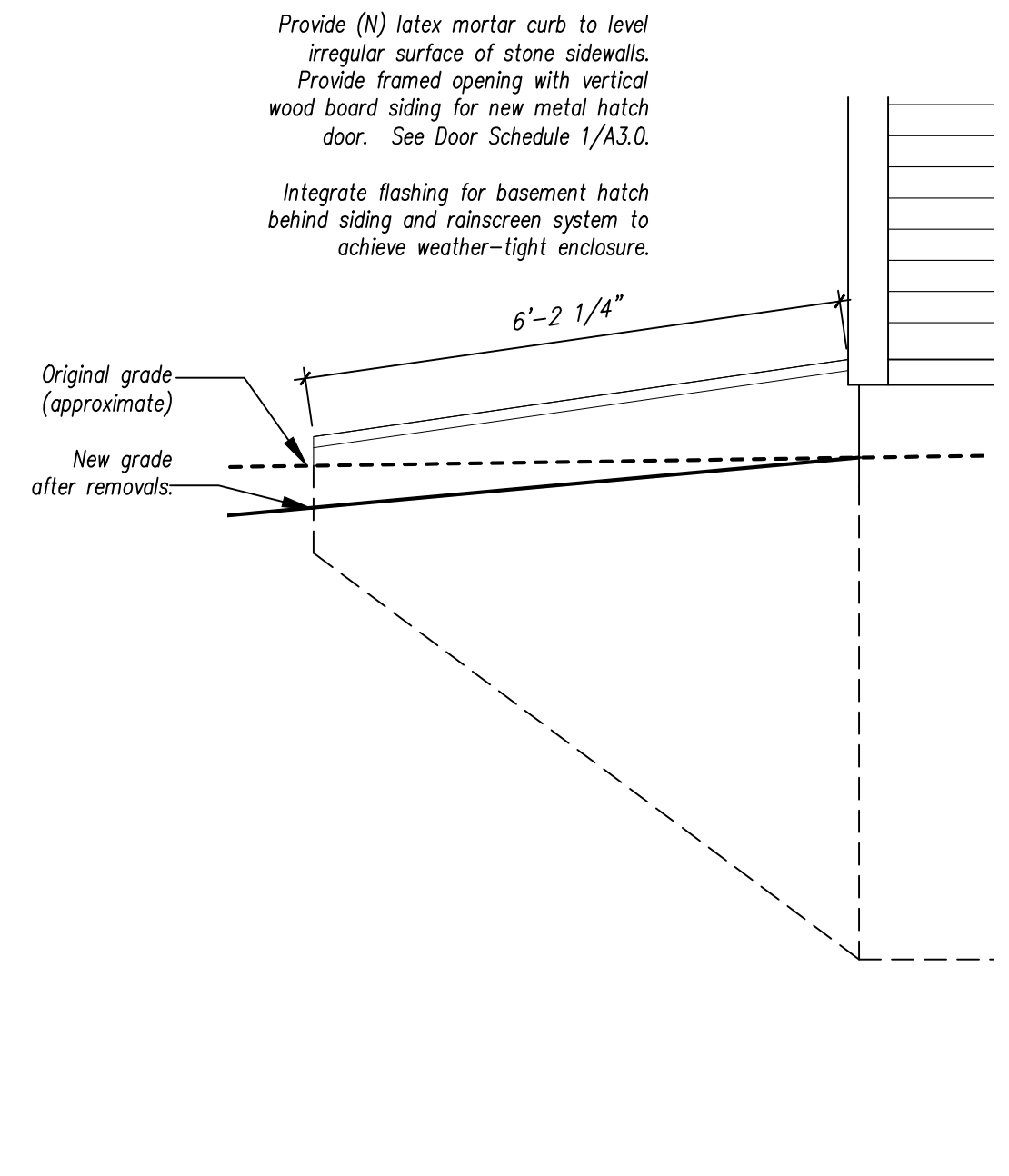
7 LOW SLOPE ROOF - EDGE DETAIL
6\"/>



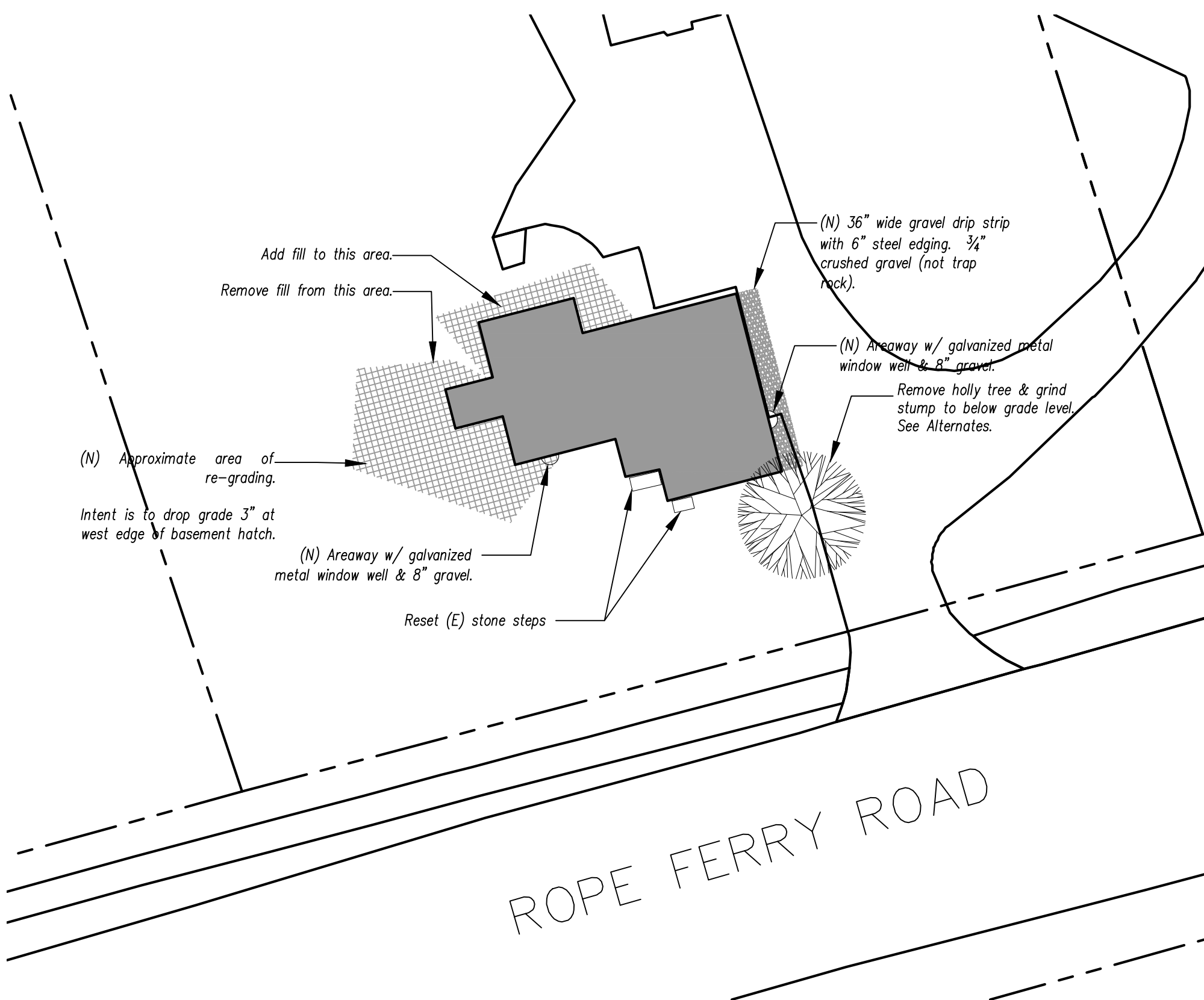
6 METAL ROOF/FLASHING AT DOOR HOOD
1\"/>



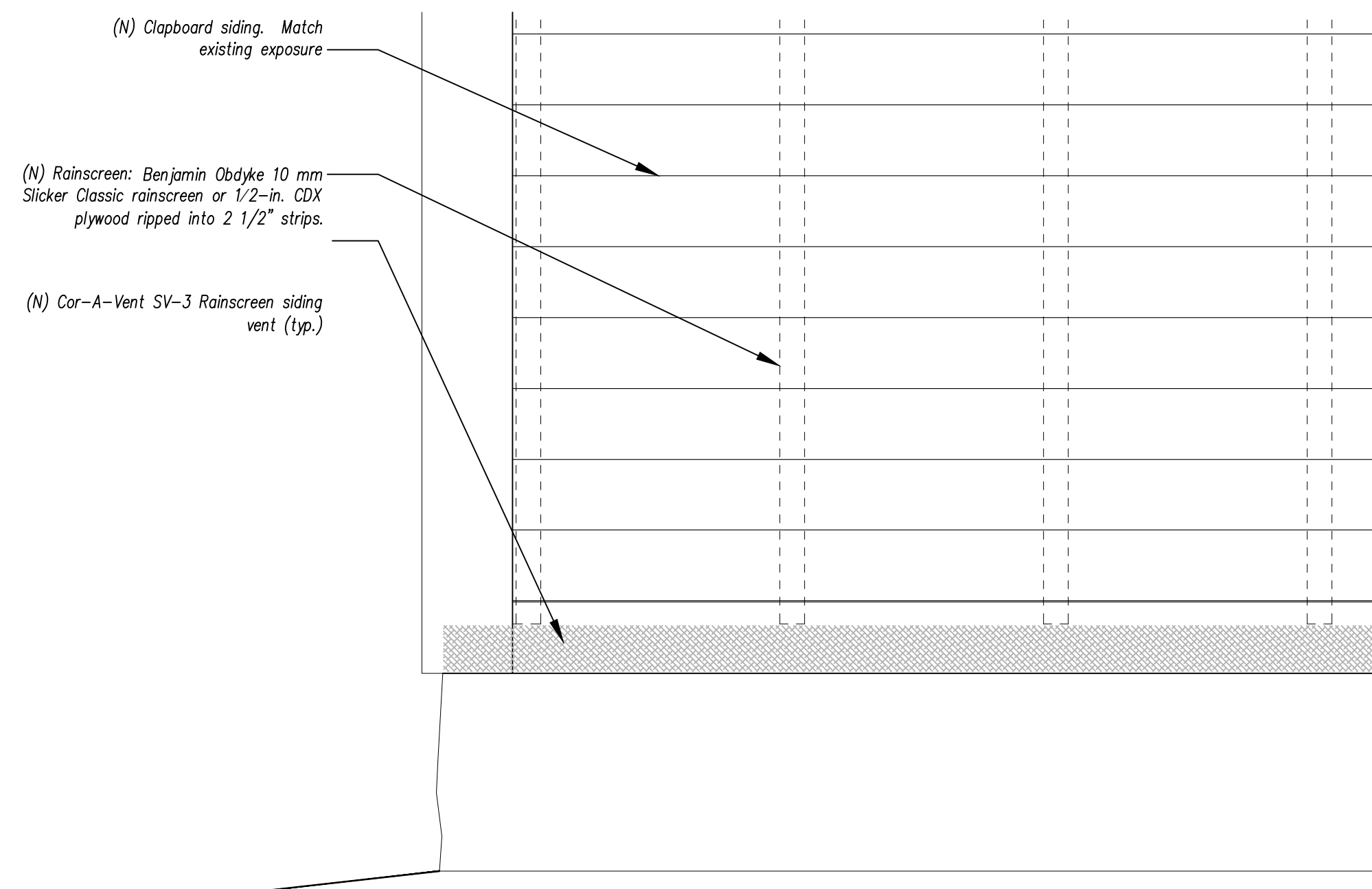
5 BASEMENT HATCH - PHOTO
N.T.S.



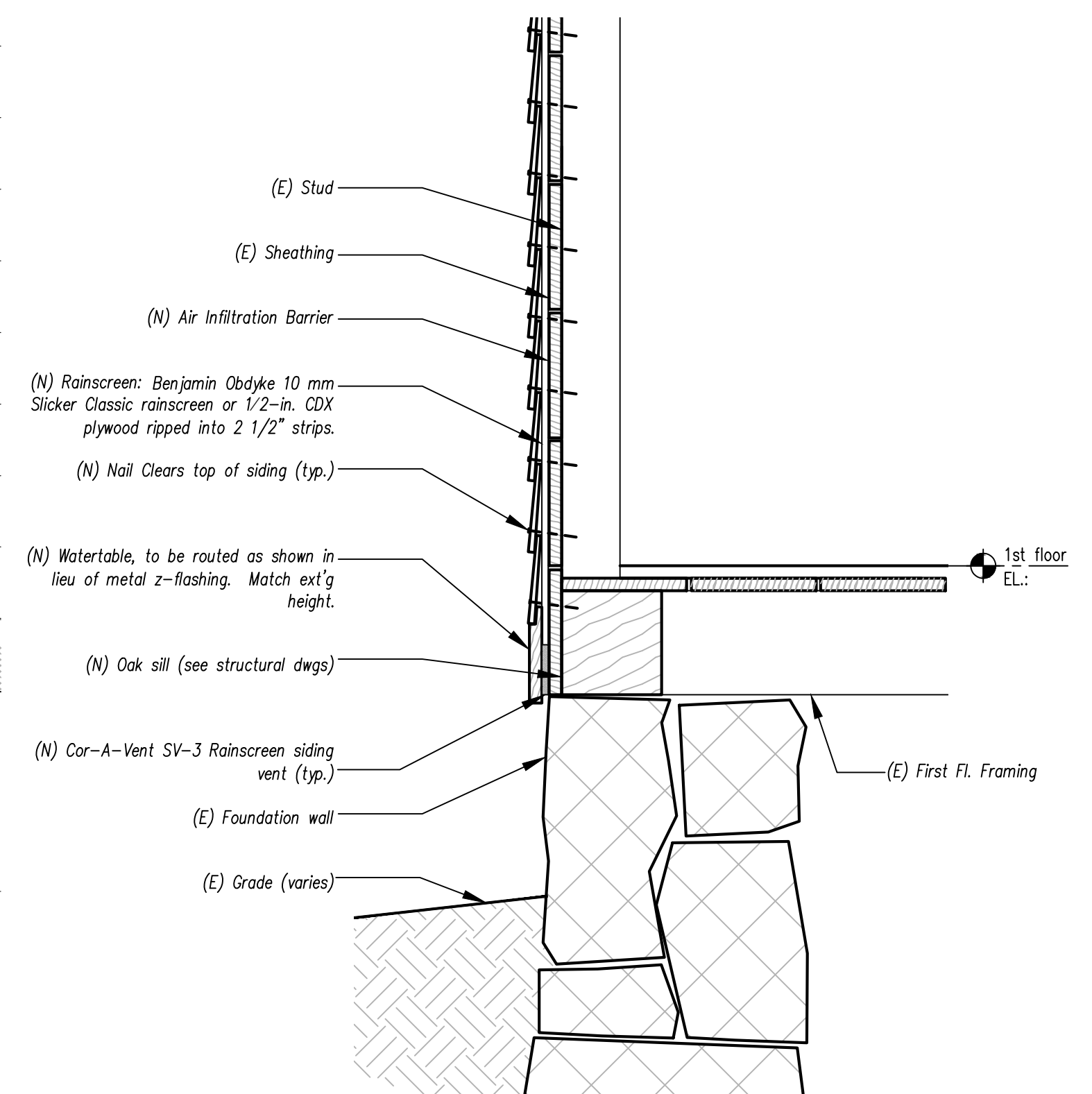
4 BASEMENT HATCH - ELEVATION DETAIL
1/2\"/>



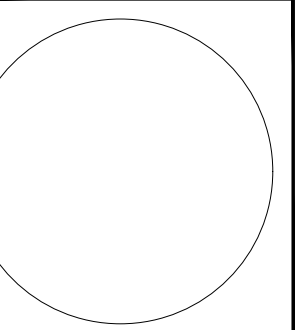
3 SITE PLAN DIAGRAM
1/16\"/>



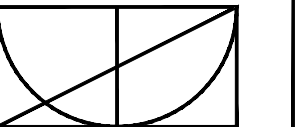
2 SIDING AND TRIM DETAIL AT WATERTABLE
1 1/2\"/>



1 SIDING & TRIM - SECTION DETAIL AT WATERTABLE
1 1/2\"/>



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DETAILS & SITE DIAGRAM

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