

DRAFT

DRAFT

DRAFT

TOWN OF WATERFORD

Inland Wetlands & Watercourses Permit #C-24-11
22A Avery Lane, Waterford, CT

The Waterford Conservation Commission, in their capacity as the Town's Inland Wetland Agency, hereby authorizes the applicant to conduct regulated activities in designated areas located at 22A Avery Lane, Waterford, CT, which are subject to jurisdiction in accordance with CT General Statutes, Section 22a-36 through 22a-45, inclusive, as amended, and the Waterford Inland Wetlands and Watercourses regulations.

This permit is a grant of approval to conduct the following regulated activities:

1. Clearing, excavation and grading in 0.25 acres of upland review area for construction of a residence, pool and shed located easterly and northerly of on-site wetlands and Nevins Brook.

These regulated activities are associated with new residential construction served by municipal water and sewer on property located at 22A Avery Lane, Waterford, Connecticut. The proposed development is shown on a plan entitled; "Property Survey, 22a Avery Lane, Waterford, Connecticut, prepared for David Waddington, Jr.", revised thru 11/15/2024, prepared by Florek Surveying, LLC.

The Conservation Commission authorizes the activity with the following conditions of approval to minimize impacts associated with the proposed regulated activity and protect the inland wetlands and watercourses on this site:

SPECIAL CONDITIONS:

1. A wetland non-encroachment boundary is designated on this property to provide a vegetated buffer adjacent to inland wetland resources. The non-encroachment boundary, as designated on the approved plan, is an extension of the non-encroachment boundary established under inland wetland permit #02-33 to a point 50 feet easterly of wetland flag #10, thence continuing east to the stone wall property boundary along a line at a 50 ft. off-set from wetland flag #'s 22 and 23.
2. No activity, including but not limited to filling, grading, clearing or removal of vegetation shall be conducted within the wetland non-encroachment area without specific authorization from the Conservation Commission. The purpose of this vegetated non-encroachment area is to protect inland wetland resources from direct and indirect impacts associated with adjacent land development.
3. The wetland non-encroachment boundary shall be identified on the final site plan and permanently marked on the property at 50 ft. intervals with markers provided by the Commission's agent affixed to trees or 4"x4" wooden posts.
4. Prior to the start of site work, the authorized limits of site clearing shall be marked on the site and inspected by the Commission's agent for consistency with the approved plan.

5. A line of sediment control measures shall be extended along the northern property boundary to control construction run-off and sediment from the driveway and garage construction activity.
6. Post-construction run-off controls, (for example rain gardens or roof infiltration devices), shall be required on the final construction plans to collect and treat run-off from impervious areas prior to its discharge to inland wetlands.
7. The final plan requires the signature of the soil scientist who conducted the delineation of on-site wetlands.

STANDARD CONDITIONS:

1. The Conservation Commission's agent shall be notified at least 48 hours prior to commencement of any regulated activity.
2. At all times during site work and until soil areas are stabilized, the applicant shall install and maintain erosion and sediment control measures such as fabric filter fence, staked hay bales or other measures deemed necessary by the Commission's agent to prevent erosion and sedimentation impacts to wetlands and watercourses.
3. Erosion control and soil stabilization measures shall comply with the approved plans and the guidelines as established in the Connecticut Guidelines for Soil Erosion and Sediment Control, 2002, CTDEEP Bulletin 34.
4. Final stabilization of disturbed soil areas, including all temporary and permanent soil disturbances, shall be stabilized with the application of loam, seed and appropriate erosion control measures.
5. Upon direction of the Commission's agent, erosion and sediment control measures shall be removed by the applicant following stabilization of the site.

All work and all regulated activities conducted pursuant to this authorization shall be consistent with the terms and conditions of this permit. Any structures, excavation, deposition of fill, obstructions of flow, encroachments or other regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in permit modification, suspension or revocation.

In the event that any additional wetland or watercourse regulated activities are required as a result of other agency permitting to support the proposed activity, the Waterford Conservation Commission reserves the right to reconsider the proposed regulated activity and may require modifications to minimize the impact to wetland resources.

In evaluating this application, the Commission has relied on information provided by the applicant. If such information subsequently proves to be false, incomplete and/or inaccurate, this permit may be modified, suspended or revoked.

This permit shall be valid for a period of 5 years. Permit extensions may be authorized in accordance with CT General Statutes § 22a-36 through 22a-45 inclusive. If the regulated activity is not completed within this time frame, the permit may be held to be invalid by the Conservation Commission or the

applicant may be required to petition the Commission for an extension or re-issuance of the permit. The Commission may require the applicant to furnish additional information at that time.

The Conservation Commission renders this Summary Ruling in accordance with the Waterford Inland Wetlands and Watercourses Regulations based on the following considerations:

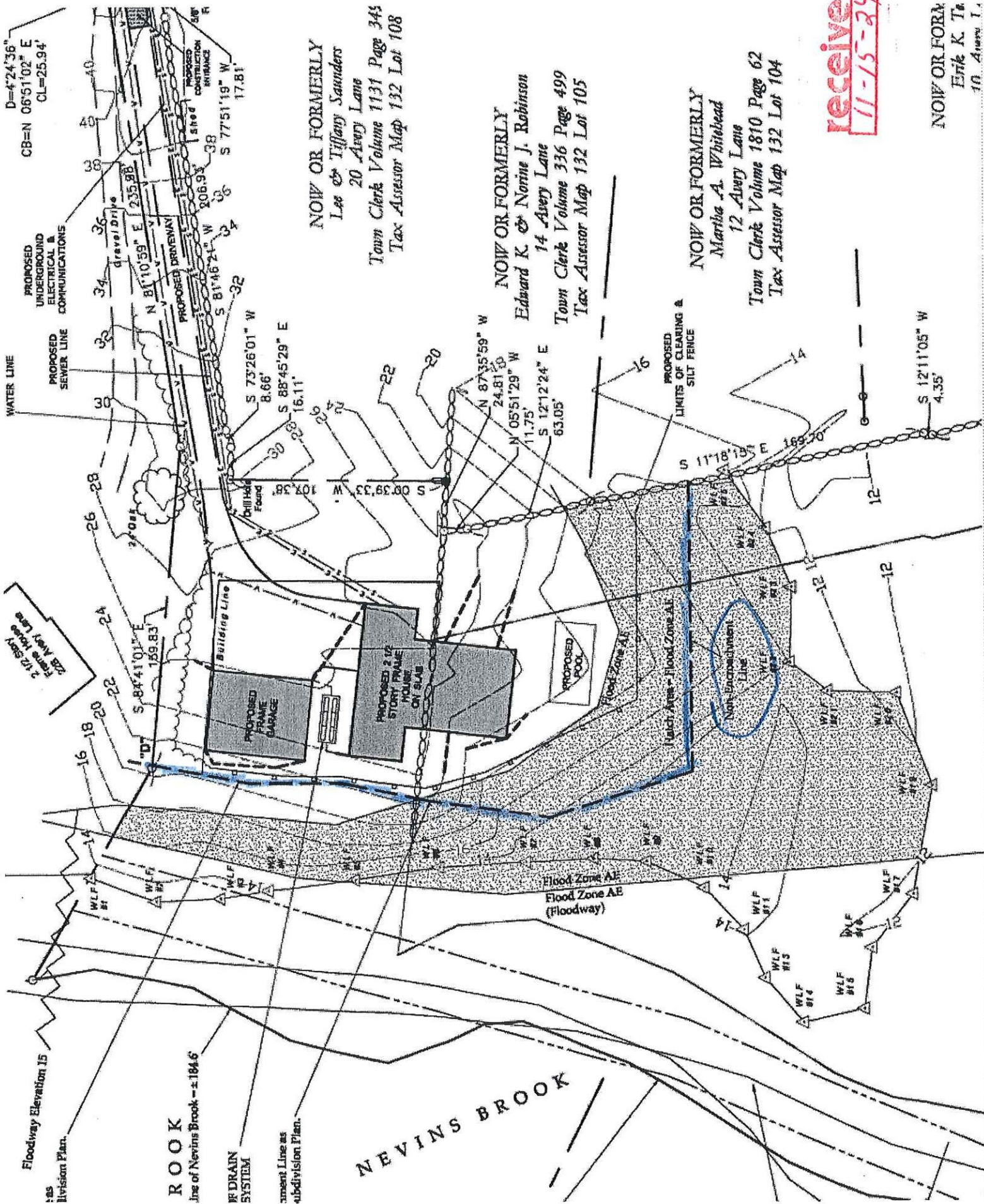
- A. The activity does not involve direct impacts to inland wetlands or watercourses.
- B. All proposed structures are located outside of the flood hazard AE zone.
- C. Potential short-term construction impacts are minimized by installation of erosion and sediment controls to reduce the potential for sediment impacts.
- D. Potential long-term impacts to on-site wetland and watercourse resources are minimized by maintenance of wetland hydrology and protection of a vegetated wetland buffer designated as a wetland non-encroachment area.

This permit will be strictly enforced. If the Conservation Commission finds that the applicant has not complied with the permit conditions or has exceeded the scope of this permit as set forth herein, or, if the intended use of the general site is not as represented by the application or the plan of record, the Commission may suspend or revoke this permit, direct the Environmental Officer to issue a cease and desist order, require the applicant to modify, extend or revise the site work, or require the applicant to restore the area to its original condition.

Dated: November 21, 2024

Issued By:

DRAFT
Chairman, Richard F. Muckle
Waterford Conservation Commission



NOW OR FORMERLY

Lee & Tiffany Saunders

20 Avery Lane

Town Clerk Volume 1131 Page 345

Tax Assessor Map 132 Lot 108

NOW OR FORMERLY

Edward K. & Norine J. Robinson

14 Avery Lane

Town Clerk Volume 336 Page 499

Tax Assessor Map 132 Lot 105

NOW OR FORMERLY

Martha A. Whitehead

12 Avery Lane

Town Clerk Volume 1810 Page 62

Tax Assessor Map 132 Lot 104

received
11-15-24

NOW OR FORMERLY

Erin K. Ta

10 Avery Lane