

WATERFORD WOODS

SITE DEVELOPMENT PLANS

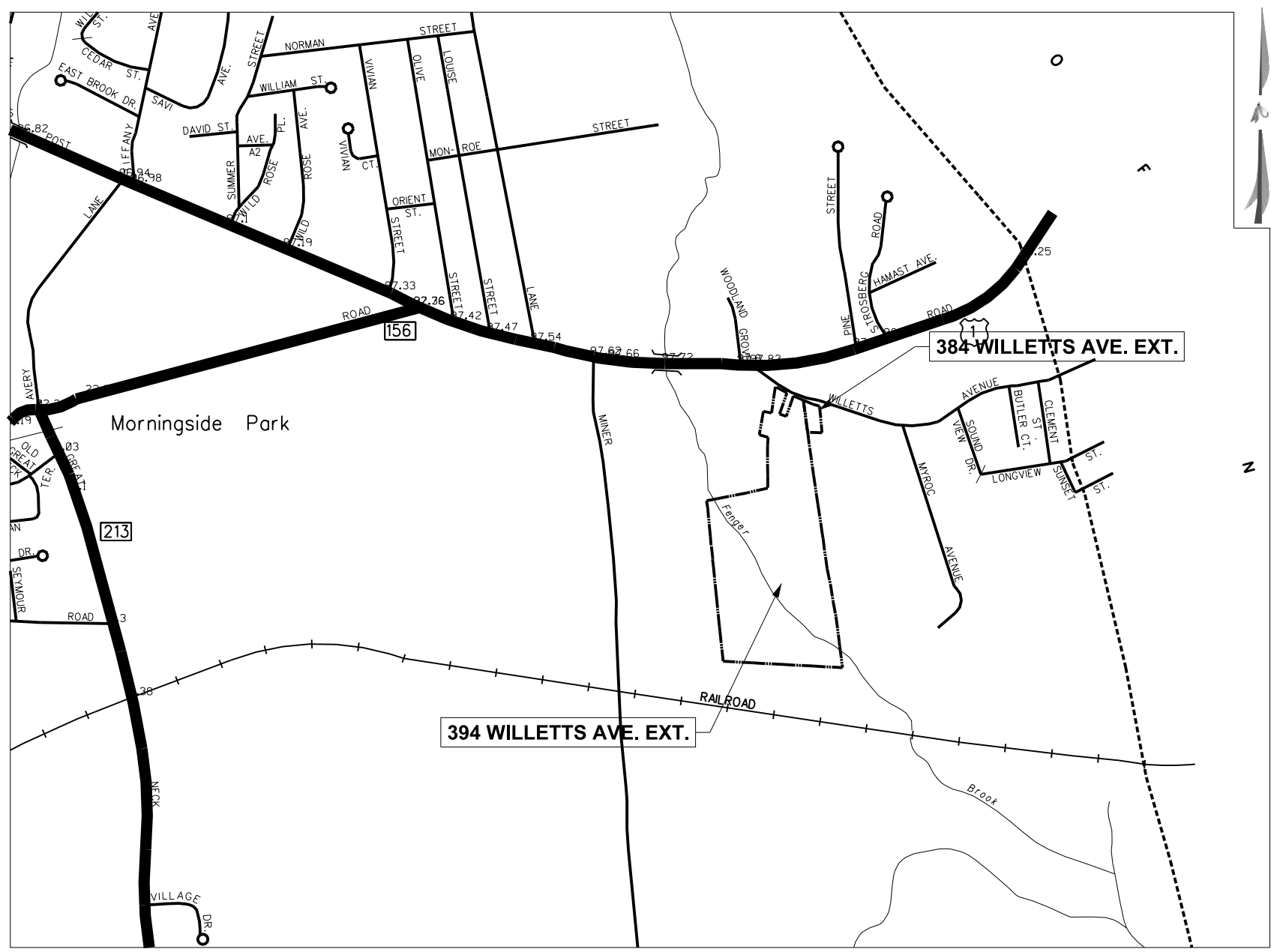
384 & 394 WILLETTS AVENUE EXT., WATERFORD, CT

TAX ASSESSOR'S MAP 134, LOTS 9190 & 9192

APPLICANT
SIG CON ASSOCIATES, LLC
606 POST ROAD EAST #320
WESTPORT, CT 06880

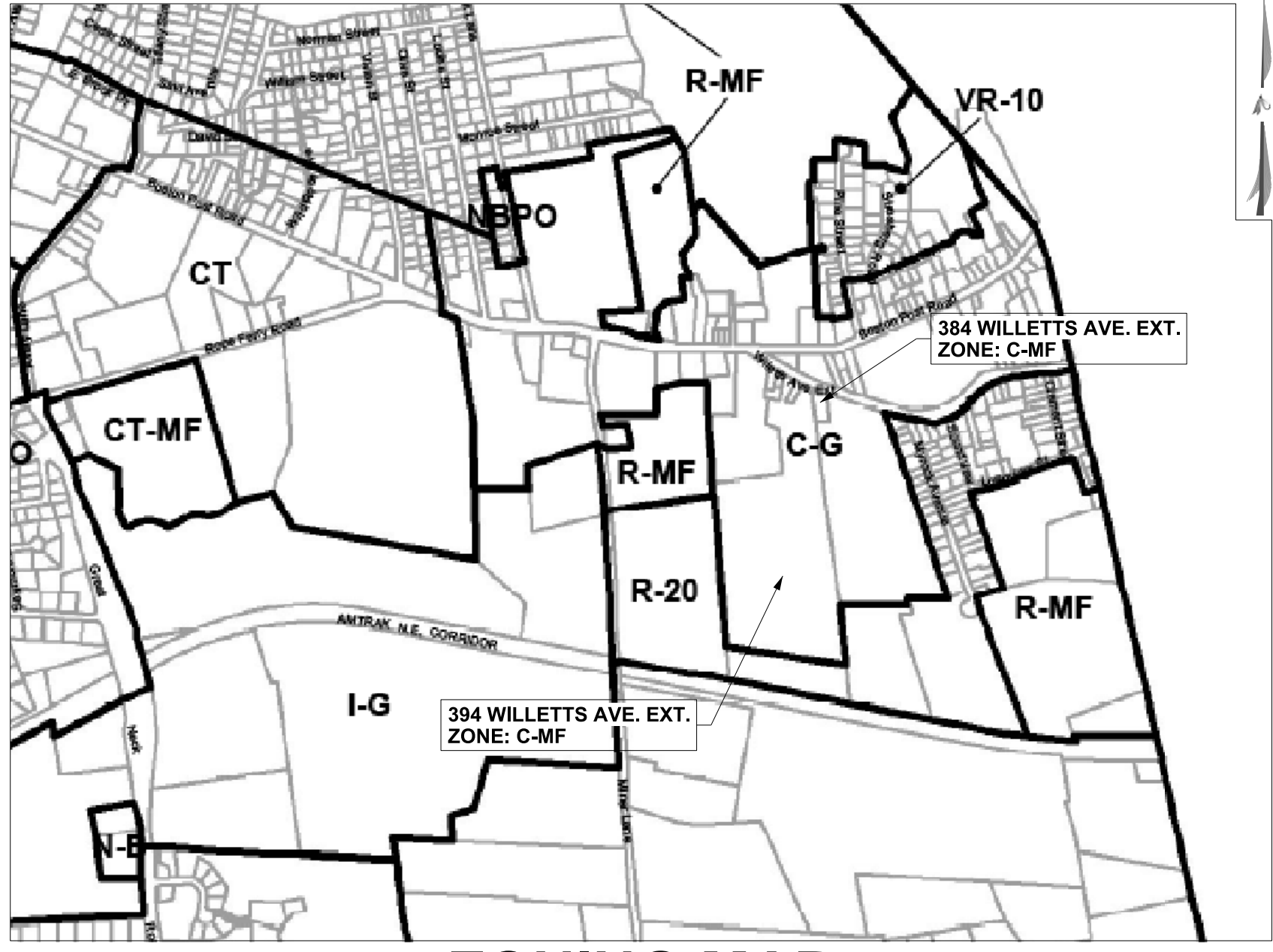
PREPARED FOR
OWNER (384 WILLETTS AVE. EXT.)
HOME THEATER TV, INC.
30157 VIA RIVERA
RANCHO PALOS VERDES, CA 90275

OWNER (394 WILLETTS AVE. EXT.)
DOUGLAS Z. WIECZOREK
16 SILVA LANE
WATERFORD, CT 06385



SITE LOCATION MAP

SCALE: 1" = 1000'

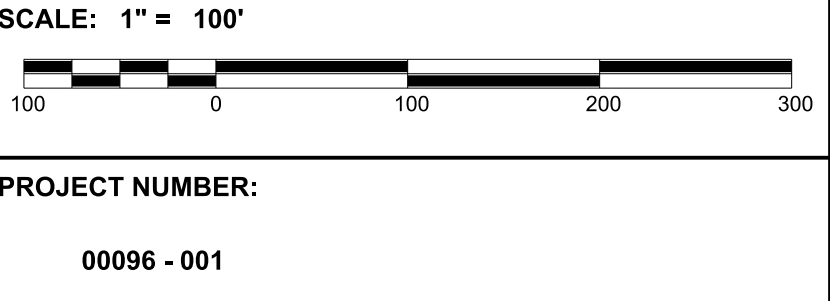


ZONING MAP

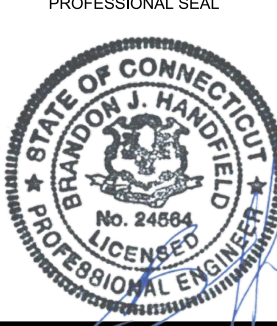
SCALE: 1" = 1000'

INDEX OF SHEETS

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WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS
PREPARED FOR
SIG CON ASSOCIATES, LLC
TITLE SHEET
384 & 394 WILLETTS AVENUE EXTENSION
WATERFORD, CT

REVISION SUMMARY	SHEET
DATE DESCRIPTION	1 OF 8
DATE	11/18/20
REVISED	

ZONING TABLE			
EXISTING ZONE:	COMMERCIAL MULTI-FAMILY DISTRICT (C-MF)		
EXISTING USE:	UNDEVELOPED / VACANT		
PROPOSED USE:	MULTI-FAMILY DEVELOPMENT PERMITTED USE PER SECTION 16.1.2		
ITEM	EXISTING STANDARD (C-MF)	PROVIDED 384 & 394 COMBINED	NOTES
MIN. LOT AREA:	60,000 SF	1,160,160 SF (26.63 AC)	COMPLIES
MIN. LOT FRONTAGE:	150 FT	286.09 FT	COMPLIES
MIN. LOT WIDTH:	N/A	N/A	N/A
MAX. BLDG COVERAGE:	25% (290,000 SF)	3.2% (36,580 SF)	COMPLIES
MIN. FRONT YARD:	75 FT	151.88 FT (MAIL)	COMPLIES
MIN. SIDE YARD:	50 FT	52 FT (BLDG C)	COMPLIES
MIN. REAR YARD:	75 FT	675.83 FT MIN. (BLDG C)	COMPLIES
DENSITY:	8/AC (213 UNITS)	3.7/AC (98 UNITS)	COMPLIES
BUILDING SEPARATION:	30 FT MIN.	105.59 FT	COMPLIES
MAX. UNITS PER BLDG:	45 UNITS	34 UNITS	COMPLIES
MAX. BUILDING HEIGHT:	40 FT / 55 FT		COMPLIES
BUILDING A:		45.58'	COMPLIES [2]
BUILDING B:		45.58'	COMPLIES [2]
BUILDING C:		40.25'	COMPLIES [2]
MAX. BUILDING STORIES:	4 STORIES	3 STORIES	COMPLIES [3]
UNIT MIXTURE:			
2-BEDROOM UNIT:	60% MAX.	41% (40 UNITS)	COMPLIES
UNIT FLOOR AREA:			
1-BEDROOM UNIT:	700 SF MIN.	700 SF	COMPLIES
2-BEDROOM UNIT:	850 SF MIN.	1,182 SF	COMPLIES
OPEN SPACE:			
RECREATION AREA:	20% (5.33 AC)	34% (9.19 AC)	COMPLIES
250 SF/1-BEDROOM:	34,500 SF MIN.	46,600 SF	COMPLIES
500 SF/2-BEDROOM:	20,000 SF (40 2-BR)		

PARKING TABLE					
USE:	MULTI-FAMILY DWELLING PER SECTION 20.3.B				
DWELLING	STANDARD	UNIT	REQUIRED	PROVIDED	NOTES
1-BEDROOM UNIT	1.5 PER UNIT	58	87		
2-BEDROOM UNIT	2 PER UNIT	40	80		
		98	167	167	COMPLIES
ACCESSIBLE PARKING	151-200 SPACES	167	6 (1 VAN)	6 (1 VAN)	COMPLIES

PARKING NOTES:

1. PARKING SPACES ARE DEPICTED AS 9'X18', WHICH IS A TYPICAL SIZE WITHIN MULTI-FAMILY RESIDENTIAL DEVELOPMENTS TO MINIMIZE THE AMOUNT OF IMPERVIOUS SURFACES ON SITE. THE REDUCED DIMENSIONAL SIZE (162 SF) IS CONSISTENT WITH SECTION 20.2.5 AS THE PROPOSED PARKING LOT MEETS THE DEFINITION OF A LARGE PARKING LOT PER SECTION 20.17.3 WITH AN AREA GREATER THAN 80,000 SF. THE LARGE PARKING LOT AREA CONSISTS OF ACCESS DRIVES, PARKING, PEDESTRIAN PATHWAYS AND ADJACENT LANDSCAPING AREAS.

WETLAND IMPACT TABLE			
REGULATED WETLAND	TOTAL AREA	DISTURBANCE	NOTES
100' UPLAND REVIEW AREA	400,500 SF (9.19 AC)	0 SF (0 AC)	NO DIRECT DISTURBANCE
PERMANENT	55,200 SF (1.27 AC)		(SEE NOTE 1)
TEMPORARY (RESTORATION)	14,700 SF (0.34 AC)		(SEE NOTE 2)
TOTAL:	69,900 SF (1.61 AC)		

WETLAND IMPACT NOTES:

1. PERMANENT DISTURBANCE WITHIN THE UPLAND REVIEW AREA CONSISTS OF CLEARING & GRUBBING, STRIPPING & STOCKPILING OF TOPSOIL, EXCAVATION AND CONSTRUCTION OF A PORTION OF BUILDING B & C, CONSTRUCTION OF ACCESS DRIVES, PARKING AREAS & SIDEWALKS, INSTALLATION OF DRAINAGE INCLUDING TREATMENT, INFILTRATION & DETENTION SYSTEMS, GRADING, AND LANDSCAPING.

2. TEMPORARY DISTURBANCE WITHIN THE U.P.A. CONSISTS OF THE REMOVAL OF HISTORICAL STOCKPILES OF CONSTRUCTION & DEMOLITION DEBRIS & STOCKPILES, SUCH AS BRICK, CONCRETE, TIMBER, TIRES, AND ETC. HEALTHY TREES AND SHRUBS WILL BE PRESERVED TO THE GREATEST EXTENT PRACTICAL. AREAS WILL BE REGRADED AS REQUIRED TO ACHIEVE NATURAL SLOPE CONDITIONS WITH SMOOTH TRANSITIONS TO SURROUNDING GRADE. DISTURBED AREAS WILL BE SEEDDED WITH CONSERVATION SEED MIX.

ZONING TABLE NOTES:

1. ZONE CHANGE FROM C-G TO C-MF APPROVED BY PLANNING & ZONING COMMISSION AT 09/28/20 MEETING.
2. PER SECTION 18.3.8, THE COMMISSION MAY APPROVE ONE ADDITIONAL FOOT OF BUILDING HEIGHT ABOVE 40 FEET FOR EACH ADDITIONAL FOOT OF BUILDING SEPARATION OVER 30 FEET AND ADDITIONAL SETBACK FROM AN ABUTTING RESIDENTIALLY ZONED PROPERTY. THE MINIMUM BUILDING SEPARATION IS 105 FEET AND THE MINIMUM SETBACK TO AN ABUTTING RESIDENTIALLY ZONED PROPERTY IS 377 FEET. A MAXIMUM BUILDING HEIGHT OF 55 WAS APPLIED.
3. THE GARDEN (BASEMENT) LEVEL UNITS ARE NOT CONSIDERED A STORY PER THE BUILDING CODE.
4. OPEN SPACE INCLUDES WETLANDS AND WATERCOURSES.
5. RECREATION AREA INCLUDES INDOOR AND OUTDOOR AREA.
6. ADDITIONAL PASSIVE RECREATION IS ANTICIPATED THROUGHOUT THE UNDEVELOPED AND WOODED PORTIONS OF LAND, HOWEVER IT IS NOT INCLUDED IN THE RECREATION AREA AS PROVIDED IN THE TABLE ABOVE.
7. UNDEVELOPED LAND IN THE VICINITY OF NEW BUILDINGS IS NOT INCLUDED IN THE COMPUTED VALUES FOR OPEN SPACE AND RECREATION AREA AS A CONSERVATIVE MEASURE.



SCALE: 1" = 60'

PROJECT NUMBER: 00096 - 001



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PROFESSIONAL SEAL

**WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS**
PREPARED FOR
SIG CON ASSOCIATES
OVERALL DEVELOPMENT LAYOUT

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	2 OF 8
		DATE
		11/18/20
		REVISED

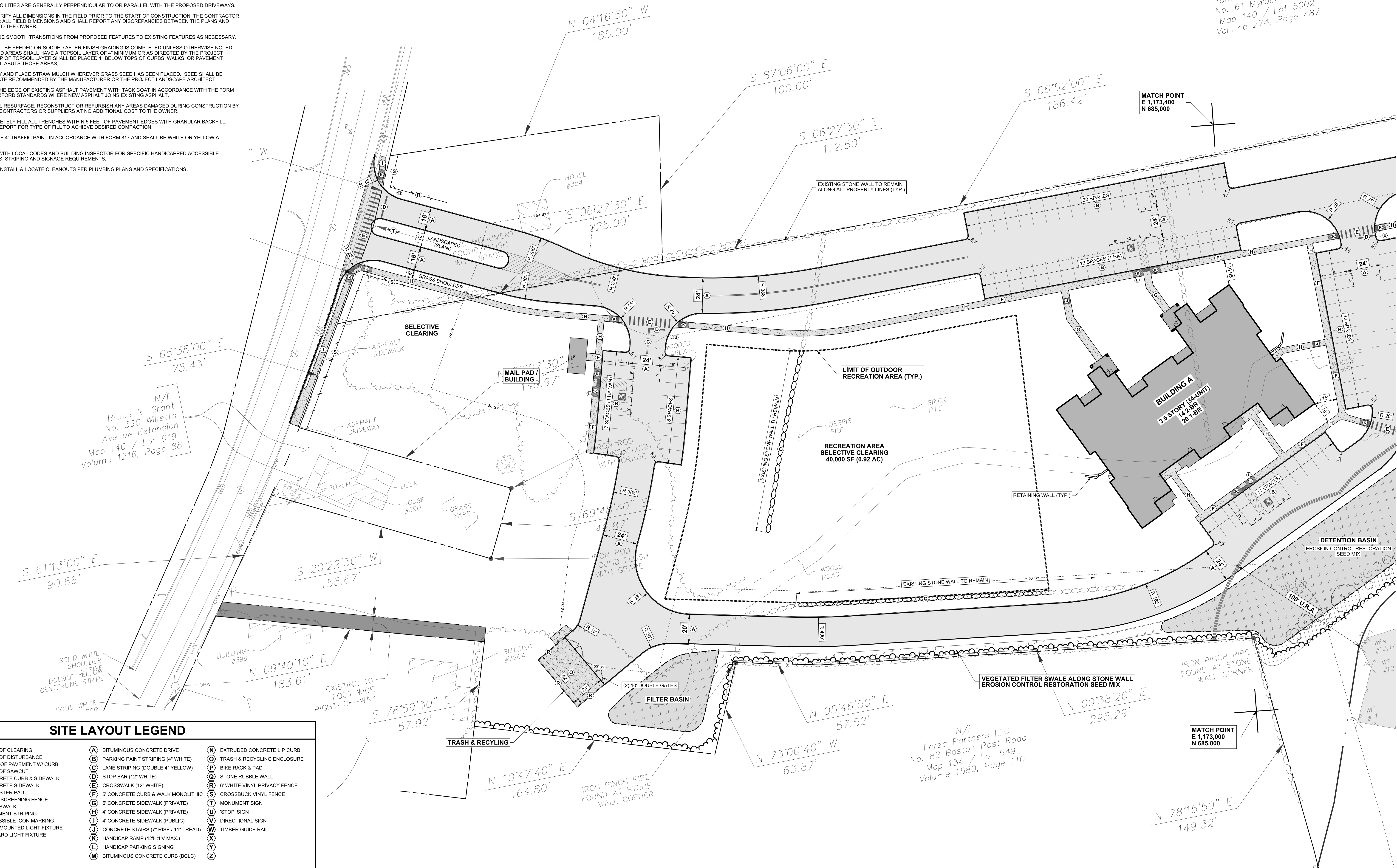
384 & 394 WILLETTS AVENUE

WATERFORD, CT

GENERAL SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 817 AS APPLICABLE.
2. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OUTSIDE FACE OF THE BUILDING OR OTHER LIMITS AS DEPICTED ON THE PLAN.
3. THE PROPOSED PARKING FACILITIES ARE GENERALLY PERPENDICULAR TO OR PARALLEL WITH THE PROPOSED DRIVEWAYS.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
6. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ABUTS THOSE AREAS.
7. CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED. SEED SHALL BE APPLIED AT THE MINIMUM RATE RECOMMENDED BY THE MANUFACTURER OR THE PROJECT LANDSCAPE ARCHITECT.
8. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE FORM 817 OR THE TOWN OF WATERFORD STANDARDS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
9. CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PAVEMENT EDGES WITH GRANULAR BACKFILL. REFER TO GEOTECHNICAL REPORT FOR TYPE OF FILL TO ACHIEVE DESIRED COMPACTION.
11. ALL PAINT STRIPING SHALL BE 4" TRAFFIC PAINT IN ACCORDANCE WITH FORM 817 AND SHALL BE WHITE OR YELLOW A DEPICTED ON THE PLANS.
12. CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC HANDICAPPED ACCESSIBLE PARKING SPACE DIMENSIONS, STRIPING AND SIGNAGE REQUIREMENTS.
13. GENERAL CONTRACTOR TO INSTALL & LOCATE CLEANOUTS PER PLUMBING PLANS AND SPECIFICATIONS.

N/F
Home Theater TV, Inc.
No. 61 Myrock Avenue
Map 140 / Lot 5002
Volume 274, Page 487



SITE LAYOUT LEGEND

	LIMIT OF CLEARING		(A) BITUMINOUS CONCRETE DRIVE		(N) EXTRUDED CONCRETE LIP CURB
	LIMIT OF DISTURBANCE		(B) PARKING PAINT STRIPING (4" WHITE)		(O) TRASH & RECYCLING ENCLOSURE
	EDGE OF PAVEMENT W/ CURB		(C) LANE STRIPING (DOUBLE 4" YELLOW)		(P) BIKE RACK & PAD
	LIMIT OF SAWCUT		(D) STOP BAR (12" WHITE)		(Q) STONE RUBBLE WALL
	CONCRETE CURB & SIDEWALK		(E) CROSSWALK (12" WHITE)		(R) 6' WHITE VINYL PRIVACY FENCE
	CONCRETE SIDEWALK		(F) 5' CONCRETE CURB & WALK MONOLITHIC		(S) CROSSBUCK VINYL FENCE
	DUMPSTER PAD		(G) 5' CONCRETE SIDEWALK (PRIVATE)		(T) MONUMENT SIGN
	VINYL SCREENING FENCE		(H) 4' CONCRETE SIDEWALK (PRIVATE)		(U) 'STOP' SIGN
	CROSSWALK		(I) 4' CONCRETE SIDEWALK (PUBLIC)		(V) DIRECTIONAL SIGN
	PAVEMENT STRIPING		(J) CONCRETE STAIRS (7" RISE / 11" TREAD)		(W) TIMBER GUIDE RAIL
	ACCESSIBLE ICON MARKING		(K) HANDICAP RAMP (12"x14" MAX.)		(X) HANDICAP PARKING SIGNING
	POLE MOUNTED LIGHT FIXTURE		(M) BITUMINOUS CONCRETE CURB (BCLC)		(Z) BITUMINOUS CONCRETE CURB (BCLC)
	BOLLARD LIGHT FIXTURE				

SCALE: 1" = 30'

PROJECT NUMBER:
00096 - 001

YRC
YANTIC RIVER
CONSULTANTS, LLC

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PROFESSIONAL SEAL

**WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS**

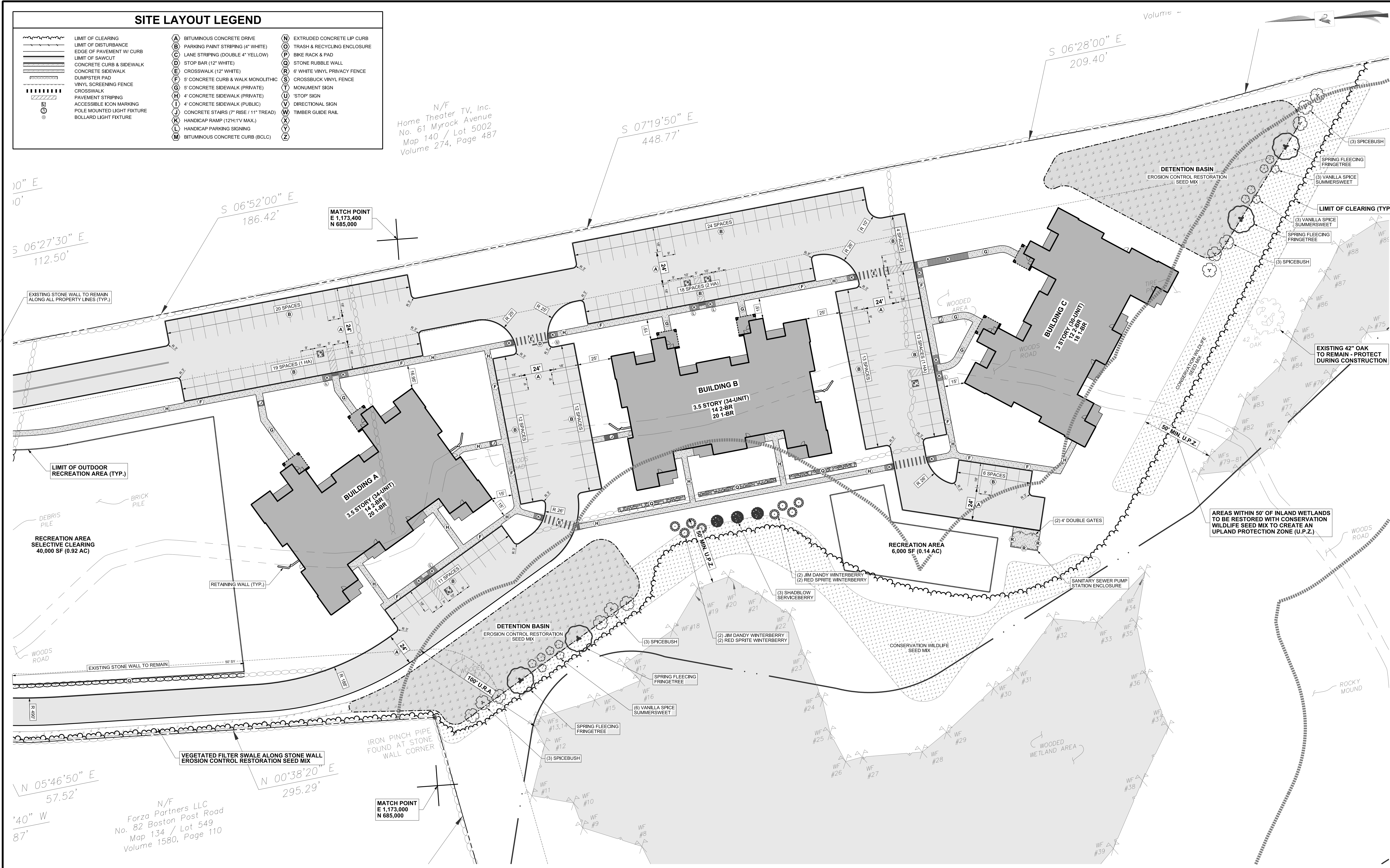
PREPARED FOR
SIG CON ASSOCIATES

DETAILED LAYOUT PLAN - NORTH

384 & 394 WILLETTS AVENUE
WATERFORD, CT

REVISION SUMMARY	
DATE	DESCRIPTION

SHEET 3 OF 8
DATE 11/18/20
REVISED



SITE LAYOUT LEGEND

- | | | | | | |
|--|----------------------------|--|---|--|--------------------------------|
| | LIMIT OF CLEARING | | A BITUMINOUS CONCRETE DRIVE | | N EXTRUDED CONCRETE LIP CURB |
| | LIMIT OF DISTURBANCE | | B PARKING PAINT STRIPING (4" WHITE) | | O TRASH & RECYCLING ENCLOSURE |
| | LIMIT OF PAVEMENT W/ CURB | | C LANE STRIPING (DOUBLE 4" YELLOW) | | P BIKE RACK & PAD |
| | LIMIT OF SAWCUT | | D STOP BAR (12" WHITE) | | Q STONE RUBBLE WALL |
| | CONCRETE CURB & SIDEWALK | | E CROSSWALK (12" WHITE) | | R 6' WHITE VINYL PRIVACY FENCE |
| | CONCRETE SIDEWALK | | F 5' CONCRETE CURB & WALK MONOLITHIC | | S CROSSBUCK VINYL FENCE |
| | DUMPSTER PAD | | G 5' CONCRETE SIDEWALK (PRIVATE) | | T MONUMENT SIGN |
| | VINYL SCREENING FENCE | | H 4' CONCRETE SIDEWALK (PRIVATE) | | U 'STOP' SIGN |
| | CROSSWALK | | I 4' CONCRETE SIDEWALK (PUBLIC) | | V DIRECTIONAL SIGN |
| | PAVEMENT STRIPING | | J CONCRETE STAIRS (7" RISE / 11" TREAD) | | W TIMBER GUIDE RAIL |
| | ACCESSIBLE ICON MARKING | | K HANDICAP RAMP (12H:1V MAX.) | | X |
| | POLE MOUNTED LIGHT FIXTURE | | L HANDICAP PARKING SIGNING | | Y |
| | BOLLARD LIGHT FIXTURE | | M BITUMINOUS CONCRETE CURB (BCLC) | | Z |

N/F
Home Theater TV, Inc.
No. 61 Myrock Avenue
Map 140 / Lot 5002
Volume 274, Page 487

N/F
Forza Partners LLC
No. 82 Boston Post Road
Map 134 / Lot 549
Volume 1580, Page 110

SCALE: 1" = 30'

PROJECT NUMBER:
00096 - 001



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PROFESSIONAL SEAL

**WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS**
PREPARED FOR
SIG CON ASSOCIATES
DETAILED LAYOUT PLAN - SOUTH

384 & 394 WILLETTS AVENUE
WATERFORD, CT

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	4 OF 8
		DATE
		11/18/20
		REVISED

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES, PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, IN ACCORDANCE WITH CBVD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

GENERAL GRADING NOTES

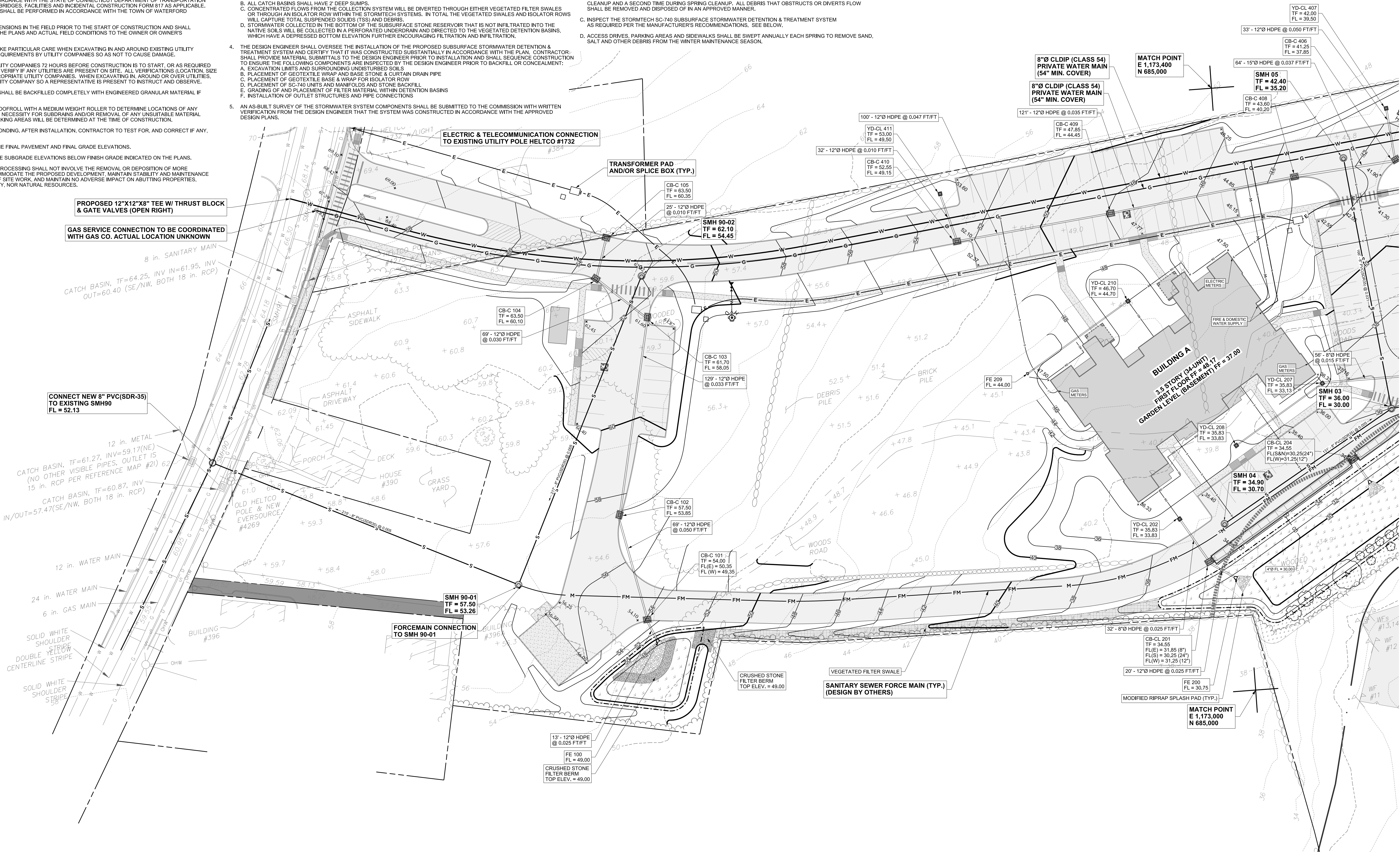
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INDICATED CONSTRUCTION. ALL CABLE, WORK WITHIN THE ROAD RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF WATERFORD STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE EXCAVATING CONTRACTOR SHALL TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, OR AS REQUIRED BY GOVERNING UTILITY COMPANY, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IN, AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY, SO A REPRESENTATIVE IS PRESENT TO INSTRUCT AND OBSERVE.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING OR PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING. AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT IF ANY, "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE INDICATED ON THE PLANS.
- EXTRACTION, GRADING, FILLING AND/OR PROCESSING SHALL NOT INVOLVE THE REMOVAL OR DEPOSITION OF MORE MATERIAL THAN NECESSARY TO ACCOMMODATE THE PROPOSED DEVELOPMENT. MAINTAIN STABILITY AND MAINTENANCE OF GRADED AREAS UPON COMPLETION OF SITE WORK, AND MAINTAIN NO ADVERSE IMPACT ON ADJUTING PROPERTIES, THE PUBLIC RIGHT OF WAY, PUBLIC SAFETY, NOR NATURAL RESOURCES.

DRAINAGE

- STORMWATER RUNOFF FROM THE PROPOSED DEVELOPMENT WILL BE COLLECTED THROUGH A SERIES OF ROOF LEADERS, SWALES, YARD DRAINS, CATCH BASINS & DRAINAGE PIPING AND DISCHARGED TO SUBSURFACE INFILTRATION/TREATMENT SYSTEMS, VEGETATED FILTER SWALES & DETENTION BASINS.
- THE TWO (2) SUBSURFACE INFILTRATION/TREATMENT SYSTEMS CONSIST OF STORMTECH SC-740 CHAMBERS BACKFILLED WITH WASHED STONE AND HAVE BEEN SIZED TO ATTENUATE PEAK FLOW RATES AND VOLUMES FOR THE 1-YEAR STORM EVENT AS COMPARED TO PRE-DEVELOPMENT (EXISTING) CONDITIONS. THE SUBSURFACE INFILTRATION/TREATMENT SYSTEMS IN COMBINATION WITH THE DETENTION BASINS ATTENUATE PEAK FLOW RATES FOR THE 2, 5, 10, 25, 50 AND 100-YEAR STORM EVENTS. THERE WILL BE NO INCREASE IN PEAK FLOW RATES OR VOLUMES DISCHARGING TO THE DOWNGRADED WETLANDS OR ADJACENT PROPERTIES.
- STORMWATER RUNOFF FROM IMPERVIOUS SURFACES WILL BE TREATED AS FOLLOWS:
 - IMPERVIOUS SURFACES HAVE BEEN DISCONNECTED WHERE POSSIBLE TO ENCOURAGE VEGETATED OVERLAND FLOW.
 - ALL CATCH BASINS SHALL HAVE 2' DEEP SUMPS.
 - CONCENTRATED FLOWS FROM THE COLLECTION SYSTEM WILL BE DIVERTED THROUGH EITHER VEGETATED FILTER SWALES OR THROUGH AN ISOLATOR ROW WITHIN THE STORMTECH SYSTEMS. IN TOTAL THE VEGETATED SWALES AND ISOLATOR ROWS WILL CAPTURE TOTAL SUSPENDED SOLIDS (TSS) AND DEBRIS.
 - STORMWATER COLLECTED IN THE BOTTOM OF THE SUBSURFACE STONE RESERVOIR THAT IS NOT INFILTRATED INTO THE NATIVE SOILS WILL BE COLLECTED IN A PERFORATED UNDERDRAIN AND DIRECTED TO THE VEGETATED DETENTION BASINS, WHICH HAVE A DEPRESSED BOTTOM ELEVATION FURTHER ENCOURAGING FILTRATION AND INFILTRATION.
- THE DESIGN ENGINEER SHALL OVERSEE THE INSTALLATION OF THE PROPOSED SUBSURFACE STORMWATER DETENTION & TREATMENT SYSTEM AND CERTIFY THAT IT WAS CONSTRUCTED SUBSTANTIALLY IN ACCORDANCE WITH THE PLAN. CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS TO THE DESIGN ENGINEER PRIOR TO INSTALLATION AND SHALL SEQUENCE CONSTRUCTION TO ENSURE THE FOLLOWING COMPONENTS ARE INSPECTED BY THE DESIGN ENGINEER PRIOR TO BACKFILL OR CONCEALMENT:
 - EXCAVATION LIMITS AND SURROUNDING UNDISTURBED SOILS
 - PLACEMENT OF GEOTEXTILE WRAP AND BASE STONE & CURTAIN DRAIN PIPE
 - PLACEMENT OF GEOTEXTILE BASE & WRAP FOR ISOLATOR ROW
 - PLACEMENT OF SC-740 UNITS AND MANFOLDS AND STONE BACKFILL
 - GRADING OF AND PLACEMENT OF FILTER MATERIAL WITHIN DETENTION BASINS
 - INSTALLATION OF OUTLET STRUCTURES AND PIPE CONNECTIONS
- AN AS-BUILT SURVEY OF THE STORMWATER SYSTEM COMPONENTS SHALL BE SUBMITTED TO THE COMMISSION WITH WRITTEN VERIFICATION FROM THE DESIGN ENGINEER THAT THE SYSTEM WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS.

STORMWATER OPERATIONS & MAINTENANCE

- THE FOLLOWING OPERATION & MAINTENANCE PLAN SHALL BE IMPLEMENTED TO ENSURE THAT STORMWATER MANAGEMENT SYSTEMS FUNCTION AS DESIGNED. A CONDENSED INSPECTION AND MAINTENANCE CHART SHALL BE PREPARED BY THE DESIGN ENGINEER AND SUBMITTED TO THE COMMISSION'S AGENT FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- OWNER & PARTY RESPONSIBLE FOR OPERATION AND MAINTENANCE: SIG CON ASSOCIATES, LLC
 - THE FOLLOWING MAINTENANCE SHALL BE PERFORMED AND A MAINTENANCE LOG OR CHECKLIST COMPLETED.
 - INSPECT EACH CATCH BASIN ANNUALLY IN THE SPRING FOLLOWING THE WINTER SEASON. REMOVE ALL COLLECTED SEDIMENT AND DEBRIS AND DISPOSE OF IN AN APPROVED MANNER.
 - INSPECT EACH VEGETATED/LANDSCAPED AREA TWICE ANNUALLY, ONCE IN THE FALL AS PART OF FOLIAGE CLEANUP AND A SECOND TIME DURING SPRING CLEANUP. ALL DEBRIS THAT OBSTRUCTS OR DIVERTS FLOW SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
 - INSPECT THE STORMTECH SC-740 SUBSURFACE STORMWATER DETENTION & TREATMENT SYSTEM AS REQUIRED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE BELOW.
 - ACCESS DRIVES, PARKING AREAS AND SIDEWALKS SHALL BE SWEEPED ANNUALLY EACH SPRING TO REMOVE SAND, SALT AND OTHER DEBRIS FROM THE WINTER MAINTENANCE SEASON.



GENERAL UTILITY NOTES

1. ALL UNDERGROUND UTILITIES MUST BE INSTALLED IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS AND DETAILS OF THE APPROPRIATE PUBLIC UTILITY COMPANY.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND ORDER ALL NEW SERVICES, LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
3. BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPROPRIATE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
4. WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURE OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING, THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED. NOTIFICATION SHALL BE GIVEN TO THE OWNER IF THE FIELD VERIFICATION DIFFERS FROM THE INFORMATION ON THE DRAWINGS.
5. FOR CLARITY PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.

WATER

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE "STANDARDS AND SPECIFICATIONS FOR WATER MAIN INSTALLATIONS BY DEVELOPERS IN THE TOWN OF WATERFORD" AND ALL OTHER RULES AND REGULATIONS FOR WATER MAIN AND SERVICES OF THE WATERFORD UTILITY COMMISSION AND THE CITY OF NEW LONDON PUBLIC UTILITIES.
2. AN 8" Ø CLDIP (CLASS 54) PRIVATE WATER MAIN SHALL BE INSTALLED BY THE DEVELOPER FROM THE EXISTING WATER MAIN IN WILLETTS AVENUE EXT. TO PROVIDE DOMESTIC AND FIRE SUPPRESSION WATER SUPPLY TO EACH BUILDING AND NEW FIRE HYDRANTS AS SHOWN ON THE PLAN. INSTALLATION, OPERATION, MAINTENANCE, AND REPAIR OF THE PRIVATE WATER MAIN IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND/OR PROPERTY OWNER. AN EASEMENT SHALL BE GRANTED TO THE TOWN OF WATERFORD AND CITY OF NEW LONDON FOR THE PURPOSES OF ACCESSING THE METERS, VALVES AND WATER APPURTENANCES ON THE SITE.
3. DOMESTIC WATER SERVICE PIPES (SIZE TBD) SHALL BE INSTALLED FROM THE PRIVATE MAIN TO A METER WITHIN THE UTILITY ROOMS LOCATED IN EACH BUILDING. THE SERVICE AND METER SIZES SHALL BE CONFIRMED BY THE PROJECT ARCHITECT OR MECHANICAL ENGINEER FOLLOWING A HYDRANT FLOW TEST TO BE PERFORMED BY THE DEVELOPER AND/OR PROPERTY OWNER.
4. 4" CLDIP FIRE SUPPRESSION WATER SERVICES PIPES SHALL BE INSTALLED FROM THE PRIVATE MAIN TO THE SPRINKLER CONTROL ROOM WITHIN EACH APARTMENT BUILDING. FIRE SUPPRESSION SERVICE PIPE SIZES SHALL BE CONFIRMED BY THE PROJECT ARCHITECT OR MECHANICAL ENGINEER FOLLOWING A HYDRANT FLOW TEST TO BE PERFORMED BY THE DEVELOPER AND/OR PROPERTY OWNER.

SANITARY

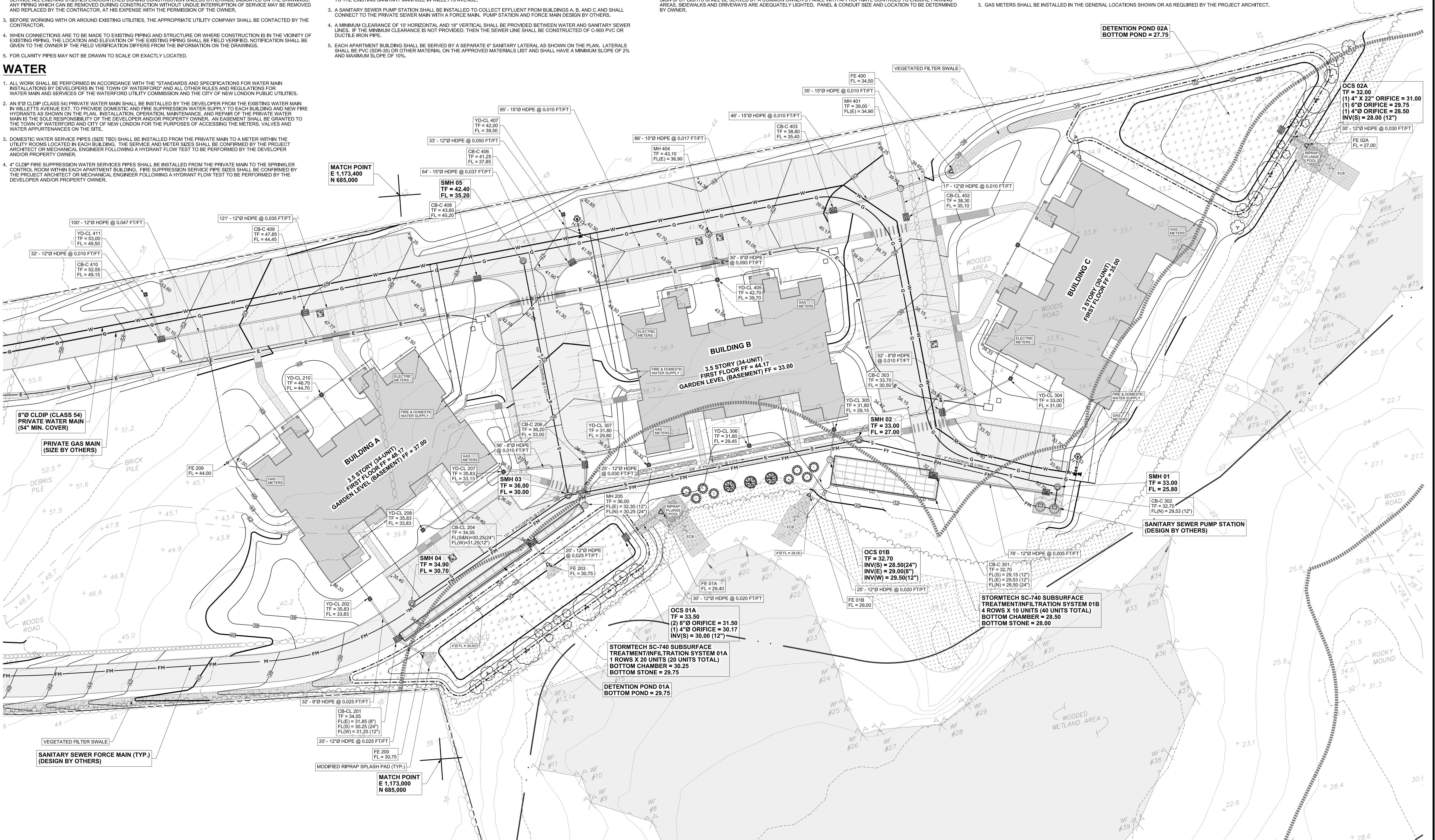
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR SEWER MAIN AND SERVICES OF THE WATERFORD UTILITY COMMISSION.
2. AN 8" PVC (SDR-35) PRIVATE SEWER COLLECTION MAIN SHALL BE INSTALLED AS SHOWN ON THE PLANS AND SHALL CONNECT TO THE EXISTING SANITARY MANHOLE IN WILLETTS AVENUE.
3. A SANITARY SEWER PUMP STATION SHALL BE INSTALLED TO COLLECT EFFLUENT FROM BUILDINGS A, B, AND C AND SHALL CONNECT TO THE PRIVATE SEWER MAIN WITH A FORCE MAIN. PUMP STATION AND FORCE MAIN DESIGN BY OTHERS.
4. A MINIMUM CLEARANCE OF 10' HORIZONTAL AND 18" VERTICAL SHALL BE PROVIDED BETWEEN WATER AND SANITARY SEWER LINES. IF THE MINIMUM CLEARANCE IS NOT PROVIDED, THEN THE SEWER LINE SHALL BE CONSTRUCTED OF C-900 PVC OR DUCTILE IRON PIPE.
5. EACH APARTMENT BUILDING SHALL BE SERVED BY A SEPARATE 6" SANITARY LATERAL AS SHOWN ON THE PLAN. LATERALS SHALL BE PVC (SDR-35) OR OTHER MATERIAL ON THE APPROVED MATERIALS LIST AND SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 10%.

ELECTRIC & TELECOMMUNICATIONS

1. FINAL CONNECTION LOCATION, SIZE & TYPE OF CONDUIT, TRANSFORMERS, METERS & OTHER ELEMENTS TO SERVE THE BUILDINGS SHALL BE COORDINATED BETWEEN THE OWNER AND THE APPROPRIATE UTILITY COMPANY.
2. ALL AREA LIGHTING SHOWN ON THE PLANS, INCLUDING POLE MOUNTED AREA LIGHTS, BUILDING MOUNTED LIGHTS AND SIGN SPOT LIGHTS SHALL BE SERVED BY A COMMON OWNERS PANEL WITH APPROPRIATE CONTROLS TO ENSURE PARKING AREAS, SIDEWALKS AND DRIVEWAYS ARE ADEQUATELY LIGHTED. PANEL & CONDUIT SIZE AND LOCATION TO BE DETERMINED BY OWNER.

GAS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR GAS SERVICE OF THE YANKEE GAS SERVICES COMPANY, THE TOWN AND APPLICABLE CODES.
2. DESIGN & SIZING OF ALL NATURAL GAS VALVES, PIPING AND OTHER ELEMENTS TO BE PROVIDED BY OTHERS.
3. GAS METERS SHALL BE INSTALLED IN THE GENERAL LOCATIONS SHOWN OR AS REQUIRED BY THE PROJECT ARCHITECT.



SCALE: 1" = 30'

PROJECT NUMBER:

00096 - 001



CONTACT INFORMATION

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Web: www.yanticriverconsultants.com

PROFESSIONAL SEAL

WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS

PREPARED FOR
SIG CON ASSOCIATES

GRADING, DRAINAGE & UTILITY PLAN - SOUTH

384 & 394 WILLETTS AVENUE
WATERFORD, CT

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	6 OF 8
		DATE
		11/18/20
		REVISED

GENERAL CONSTRUCTION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK TO BE PERFORMED.
- 2. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF ALL LOCAL AGENCIES OF THE TOWN OF WATERFORD AND THE STATE OF CONNECTICUT.

SEQUENCE OF CONSTRUCTION:

- 1. COORDINATE AND COMPLETE A MEETING WITH TOWN AND OWNER. RESPONSIBLE PARTIES TO BE IDENTIFIED AND EMERGENCY PHONE NUMBERS PROVIDED.
- 2. INSTALL EROSION CONTROL MEASURES AT THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED FOR FIELD CONDITIONS.
- 3. DEMOLISH & DISPOSE OF EXISTING STRUCTURE. EXCAVATE & REMOVE STOCKPILES OF CONSTRUCTION & DEMOLITION DEBRIS.
- 4. CLEAR AND GRUB AREAS AS REQUIRED. CLEARING TO BE STAKED BY LAND SURVEYOR.
- 5. EXCAVATE / PLACE FILL AND ROUGH GRADE SITE.
- 6. INSTALL FOUNDATIONS & ERECT BUILDINGS.
- 7. INSTALL UTILITIES AND STORM DRAINAGE.
- 8. CONSTRUCT ACCESS DRIVES AND PARKING AREAS.
- 9. INSTALL CONCRETE SIDEWALKS AND PADS.
- 10. INSTALL BITUMINOUS CONCRETE BINDER COURSE.
- 11. INSTALL CURBING AND BITUMINOUS CONCRETE FINISH COURSE
- 12. FINISH GRADE, SPREAD TOPSOIL, SEED, AND COMPLETE PLANTING.
- 13. REMOVE EROSION AND SEDIMENTATION CONTROLS WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED. CONTACT TOWN PRIOR TO REMOVAL.

EROSION & SEDIMENT CONTROL PLAN:

- 1. OWNER & PARTY RESPONSIBLE FOR E&S CONTROL PLAN: SIG CON ASSOCIATES, LLC
EMERGENCY CONTACT: TO BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- 2. ALL EROSION AND CONTROL MEASURES SHALL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE.
- 3. AN ANTI-TRACKING APRON WILL BE INSTALLED AT ALL ENTRANCES TO THE CONSTRUCTION SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC. THE SURROUNDING ROAD SURFACES SHALL BE SWEEPED AS REQUIRED.
- 4. ALL CATCH BASINS WITHIN THE PROJECT AREA, INCLUDING WITHIN MINER LANE, WILL BE PROTECTED WITH INLET CONTROL FILTER/SILT SACKS AS SHOWN ON THE PLAN THROUGHOUT THE CONSTRUCTION PERIOD. IF REQUIRED, NEW CATCH BASINS ON SITE SHALL BE PROTECTED WITH STRAW WADDLES OR BALES.
- 5. AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL STOCKPILES OF SOIL.
- 6. DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AS REQUIRED.
- 7. TEMPORARY SILTATION TRAPS (TST) AND DIVERSION SWALES SHALL BE INSTALLED AS NECESSARY DURING SITE DEWATERING DISCHARGE AND CONSTRUCTION RUNOFF SHALL BE DIRECTED TO THE TST'S. CONSTRUCTION WASTEWATERS SHALL NOT BE DIRECTLY DISCHARGED TO STORM DRAINAGE OR THE ROAD OR WETLANDS AND WATERCOURSES. AT ALL TIMES DURING CONSTRUCTION, THE TST'S AND SWALES SHALL BE MAINTAINED TO CONTROL RUNOFF AND PREVENT SEDIMENT DISCHARGE TO ADJACENT WETLANDS.

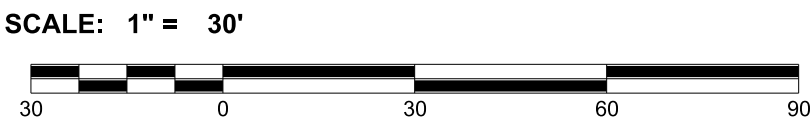
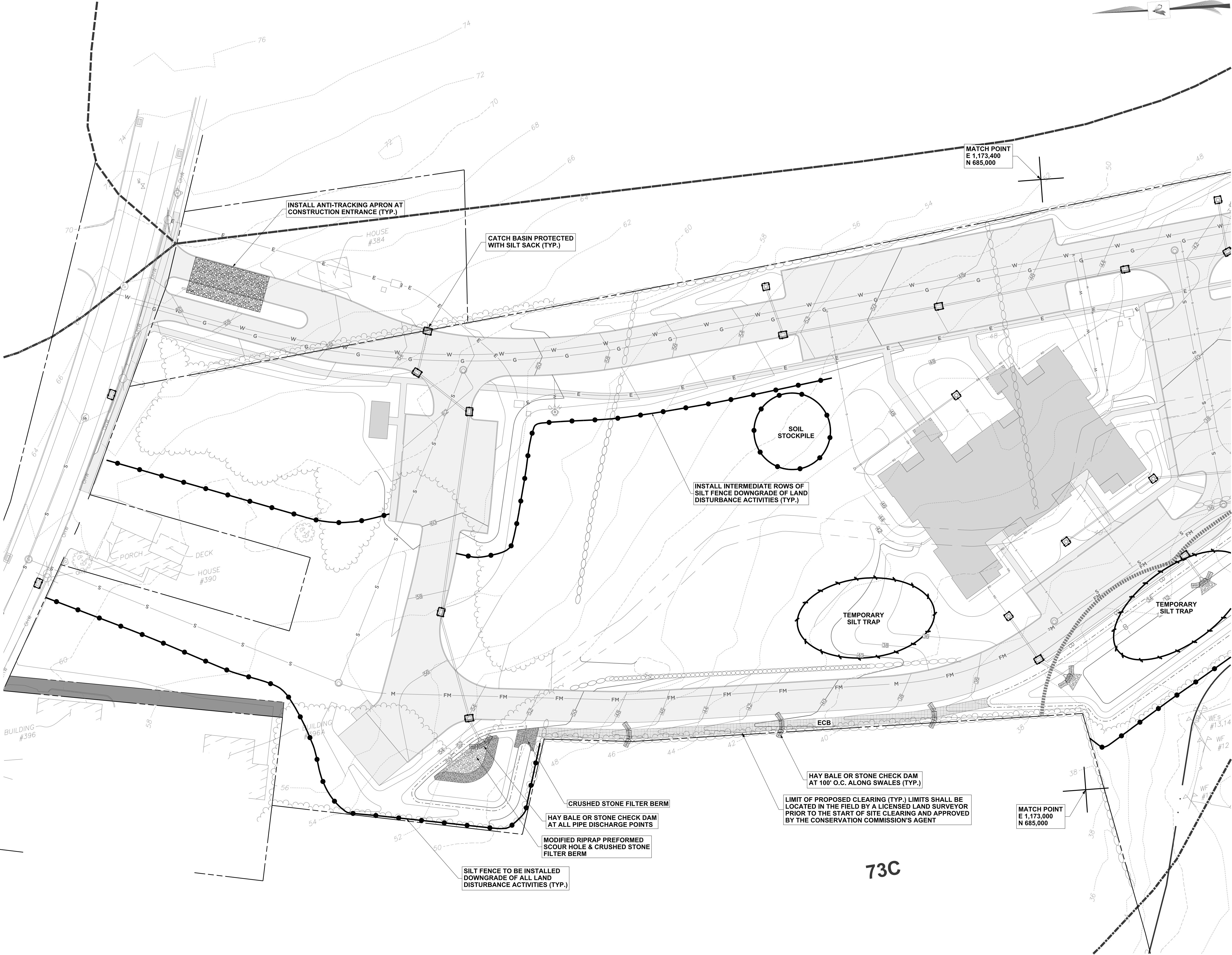
EROSION & SEDIMENT CONTROL NOTES:

- 1. CONSTRUCTION WILL COMMENCE IN THE SPRING 2021 AND BE COMPLETED IN 2022. WEATHER PERMITTING.
- 2. E&S CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE TOWN.
- 3. ALL E&S CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002, AS AMENDED AND THE TOWN OF WATERFORD REGULATIONS.
- 4. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER OR THE TOWN.
- 5. SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- 6. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE ENGINEER OR THE TOWN.
- 7. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL E&S CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER OR TOWN.
- 8. ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPEC. IN CTDOT FORM 817.
- 9. AREAS OUTSIDE OF PAVED AREAS, WALKS, AND BUILDINGS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
- 10. THE FOLLOWING DATES FOR SEEDING SHALL BE USED:
SPRING: APRIL 15 TO JUNE 15, FALL: AUGUST 15 TO SEPTEMBER 15
- 11. GRASS SEED MIXTURES SHALL BE APPLIED AT A RATE NO LESS THAN 100LBS PER ACRE OR AS RECOMMENDED BY MANUFACTURER.
- 12. TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS APPLIED AT A RATE OF 100 LBS. PER ACRE.

INSPECTION AND MAINTENANCE:

REGULAR INSPECTION AND MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF E&S CONTROLS. THE RESPONSIBLE PARTY SHALL IMPLEMENT THE FOLLOWING MEASURES THROUGHOUT THE CONSTRUCTION PERIOD UNTIL THE SITE IS STABILIZED.

- 1. PRIOR TO A MAJOR STORM IN WHICH THE NOAA ISSUES WARNINGS OF FLOODING, SEVERE WEATHER CONDITIONS OR EFFECTS, ALL E&S CONTROLS SHALL BE INSPECTED, MAINTAINED, REPAIRED AND/OR CLEANED TO ENSURE THEY ARE IN PROPER WORKING ORDER.
- 2. ALL E&S CONTROLS SHALL BE INSPECTED, REPAIRED, AND CLEANED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES
- 3. ALL STORMWATER STRUCTURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES AND CLEANED AS FOLLOWS:
A. CATCH BASINS - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ½ DEPTH OF SUMP
B. SWALES - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ½ DEPTH
C. DEWATERING BASINS - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ¾ CAPACITY
D. STORMWATER TREATMENT STRUCTURE - PER MANUFACTURER'S RECOMMENDATIONS
- 3. THE FOLLOWING ROUTINE INSPECTION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED:
A. WILLETTS AVENUE EXT. SHALL BE INSPECTED DAILY AND TRACKED MATERIALS SWEEP AS REQUIRED
B. TEMPORARY CONTROLS, INCLUDING ANTI-TRACKING APRON, SILT FENCE, SILT SACKS, & STRAW BALES SHALL BE INSPECTED WEEKLY AND CLEANED AS FOLLOWS:
i. ANTI-TRACKING APRON - REPLENISH OR REPLACE STONE WHEN NECESSARY TO ENSURE SUFFICIENT CAPTURE OF SEDIMENTS WITHIN VOIDS
ii. SILT FENCE - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ¾ THE HEIGHT (MAX.)
iii. SILT SACKS - CLEAN PER MANUFACTURER'S RECOMMENDATIONS
iv. STRAW BALES - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ¾ THE HEIGHT (MAX.)
- 4. ALL STORMWATER STRUCTURES SHALL BE CLEANED AFTER REMOVAL OF E&S CONTROLS.



PROJECT NUMBER:

00096 - 001



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PROFESSIONAL SEAL

WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS

PREPARED FOR
SIG CON ASSOCIATES

E & S PLAN - NORTH

384 & 394 WILLETTS AVENUE

WATERFORD, CT

REVISION SUMMARY

DATE	DESCRIPTION

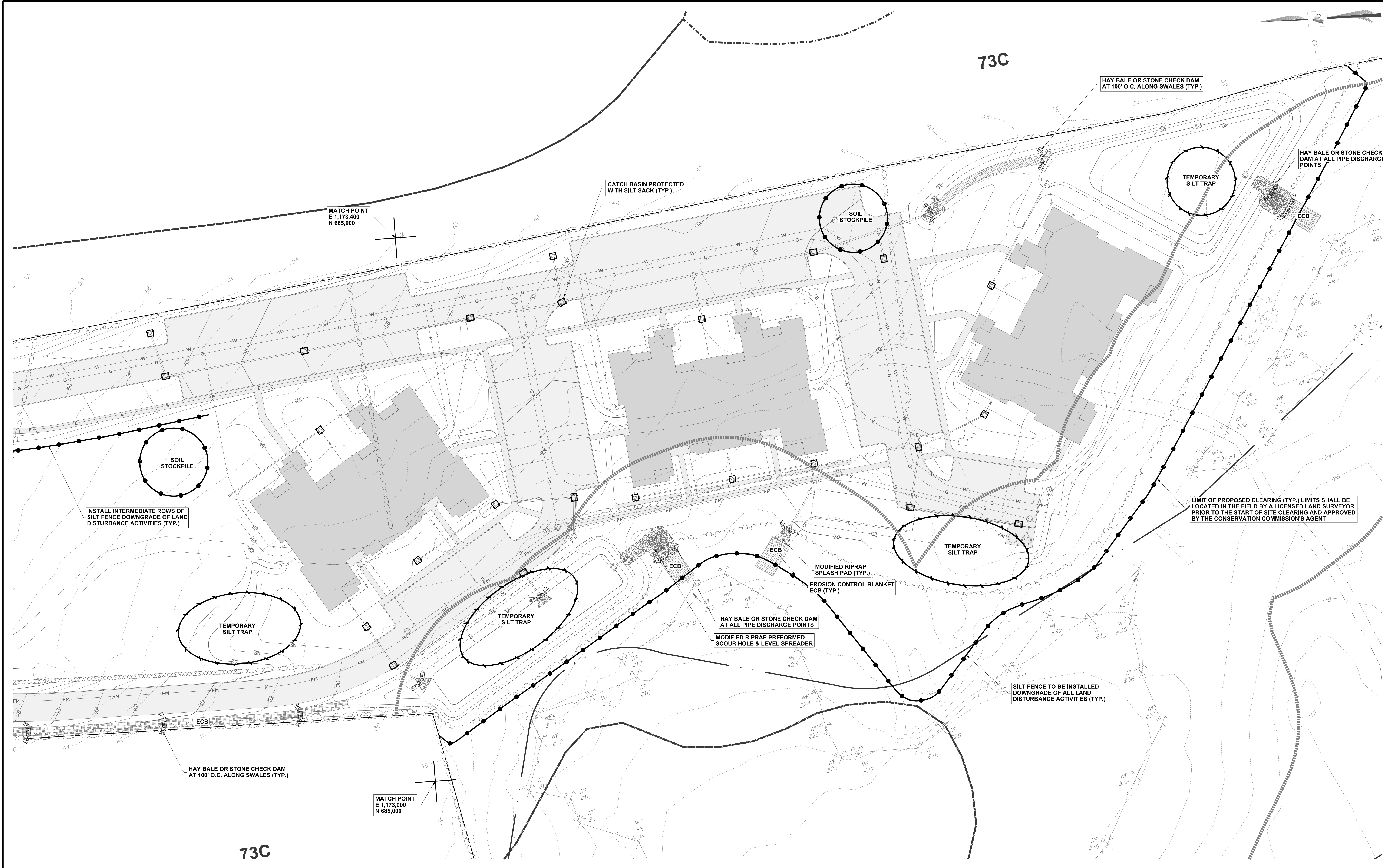
SHEET

7 OF 8

DATE

11/18/20

REVISED



SCALE: 1" = 30'

PROJECT NUMBER:

00096 - 001

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PROFESSIONAL SEAL

REVISION SUMMARY		SHEET 8 OF 8
DATE	DESCRIPTION	
		DATE 11/18/20
		REVISED

**WATERFORD WOODS
CONSERVATION COMMISSION SITE PLANS**

PREPARED FOR
SIG CON ASSOCIATES

E & S PLAN - SOUTH

384 & 394 WILLETTS AVENUE WATERFORD, CT

SURVEYED LOTS
OWNERSHIP INFORMATION

Now or formerly (N/F)
Home Theater TV, Inc.
No. 384 Willets Avenue Extension
Map 140 / Lot 9190
Volume 274, Page 487

LOT AREA:
20,860 SQUARE FEET
0.48 ACRE

N/F
Douglas Z. Wiczorek
No. 394 Willets Avenue Extension
Map 140 / Lot 9192
Volume 756, Page 109

LOT AREA:
1,139,300 SQUARE FEET
26.16 ACRES

INLAND WETLANDS CERTIFICATION

I hereby certify that the delineation of the inland wetlands
areas depicted hereon is substantially correct.

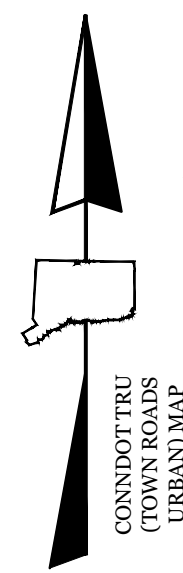
James Sipperly, Certified Soil Scientist

N/F
Home Theater TV, Inc.
No. 61 Myrock Avenue
Map 140 / Lot 5002
Volume 274, Page 487

MATCH MARK
TO SHEET 2

LOCUS MAP
1" = 800'
SUBJECT PROPERTY SHADED
WITH CROSS HATCH

Town of
Waterford



SURVEYOR'S NOTES

- This survey and map have been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on August 29, 2019. It is a Property Survey and a Topographic Survey, intended to depict the location of property lines together with significant existing features and the relief of the ground surface.

BOUNDARY DETERMINATION CATEGORY: Dependent Resurvey
HORIZONTAL ACCURACY CLASS: A-2
TOPOGRAPHIC ACCURACY CLASS: T-2
- Reference has been made to the following maps and plans:

A. "RIGHT OF WAY AND TRACK MAP THE NEW YORK NEW HAVEN AND HARTFORD R.R. CO. OPERATED BY THE NEW YORK NEW HAVEN AND HARTFORD R.R. FROM NEW HAVEN TO NEW LONDON", provided to Franklin Surveys by the Connecticut Department of Transportation Office of Central Surveys as Railroad Valuation Maps 51-61-46.pdf and 51-61-46.pdf.

B. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERFORD WILLETTS AVE. EXTENSION FROM BOSTON POST ROAD EASTERLY ABOUT 600 FEET", dated Oct. 31, 1941, revised through October 14, 1975, scale: 1" = 40', number 152-10, sheet no. 1 of 1, provided to Franklin Surveys by the Connecticut Department of Transportation Office of Central Surveys.

C. "CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP TOWN OF WATERFORD BOSTON POST ROAD FROM WILD ROSE PLACE EASTERLY TO WILLETTS AVE. ROUTE U.S. 1-A", dated September 23, 1975, scale: 1" = 40', number 828, sheet no. 2A, provided to Franklin Surveys by the Connecticut Department of Transportation Office of Central Surveys.

D. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERFORD BOSTON POST ROAD FROM WILLETTS AVE. EASTERLY TO THE NEW LONDON CITY LINE. ROUTE U.S. 1", dated Oct. 31, 1929, revised through October 14, 1975, number 828, sheet no. 1 of 1, provided to Franklin Surveys by the Connecticut Department of Transportation Office of Central Surveys.

E. "SITE DEVELOPMENT & PLANTING PLANS, CAPITOL TIRE COMPANY, WILLETTS AVE. WATERFORD, CONN.", dated 10 July 72, revised through Aug. 18, '72, scale: 1" = 40' 0", prepared by Frazier - Vigneau, on file in the Town of Waterford Building Department.

F. "TOPOGRAPHIC SURVEY prepared for RICHARD G. HEDDEN property of GEORGE & GRACE D WANAT 104 & 168 BOSTON POST ROAD AND 22 & 30 MINER LANE WATERFORD CONNECTICUT", dated Jan. 11, 1985, scale: 1" = 40', sheet 1 of 3, prepared by McKay Engineering, on file in the Town of Waterford Building Department.

G. "PLAN OF PROPERTY OF HOME THEATER TV, INC. WILLETTS AVENUE EXTENSION AND MYROCK AVENUE WATERFORD, CONNECTICUT", dated September 24, 1985, revised Jan. 22, 1986, scale: 1" = 50', prepared by Chandler, Palmer & King, on file on the Town of Waterford land records as Map #1672.

H. "THE CONNECTICUT LIGHT & POWER CO. BERLIN, CONN. SURVEYED PLAN OF THE MYROCK SERVICE CENTER PROPERTY WATERFORD, CT", dated 3-20-1992, scale: 1" = 40', prepared by Northeast Utilities Service Company System Real Estate Department, on file on the Town of Waterford land records as Map #2886.

I. "SITE PLAN PROPERTY OF MYSTIC OIL COMPANY BOSTON POST ROAD AND WILLETTS AVENUE EXTENSION WATERFORD, CT", dated December 7, 1993, scale: 1" = 10', prepared by Peter Gardner, L.S., on file on the Town of Waterford land records as Map #3128.

J. "BOUNDARY SURVEY MAP PLANNED GROUP DEVELOPMENT Property of Helga & J. Robert Planner 396, 396R & 398 WILLETTS AVENUE EXTENSION, WATERFORD, CONNECTICUT ZONE C-4", dated August 25, 2009, revised through 1/12/10, scale: 1" = 10', prepared by William F. Kent, L.S., on file on the Town of Waterford land records as Map #5558.

K. "LOCATION MAP & PROPERTY ABUTTERS HOME THEATER TV, INC. OFFICE/WAREHOUSE FACILITY WATERFORD, CONNECTICUT", revised 9-21-84, scale: as shown, prepared by TMR Associates, on file on the Town of Waterford land records as Map #1491.
- Franklin Surveys conducted an on-the-ground survey in July and August of 2020. Bearings noted hereon are referenced to the North American Datum of 1983 (NAD 83) epoch 2011 (2010.0) as determined by Global Positioning System (GPS) observations utilizing the State of Connecticut's Advanced Continuously Operating Reference Network (ACORN). Contours and spot elevations depicted hereon are referenced to the North American Vertical Datum of 1988 (NAVD 88) as determined by GPS ACORN observations, transformed from ellipsoid height to orthometric height utilizing Geoid 12B.
- Federal Emergency Management Agency (FEMA) flood zone boundary lines depicted hereon are scaled from and defined by Flood Insurance Rate Map for New London County, Connecticut, Panel 503 of 554, Map Number 09011C02031, effective August 5, 2013.
- Inland wetland areas depicted hereon were delineated in the field by James Sipperly, certified soil scientist in July and August of 2020 and surveyed by Franklin Surveys in August of 2020.
- The lot configuration for property at 384 Willets Avenue Extension depicted hereon is based upon dimensions noted on reference map #28. The metes and bounds descriptions of record for property now or formerly of Home Theater TV, Inc. combine 384 Willets Avenue Extension and 61 Myrock Avenue together as one tract.
- Underground utility, structure, and facility locations depicted and noted hereon have been compiled, in part from recent mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to Franklin Surveys. The size, location, and existence of all such features must be field-determined and verified by the appropriate authorities prior to construction. Call Before You Dig 1-800-922-4455

SCHEDULE OF
SANITARY INVERTS

SMH90
TI=61.77
INV IN/OUT=52.13

SMH91
TI=64.18
INV IN=54.35
INV OUT=54.14

SMH92
TI=67.91
INV IN=58.90
INV OUT=58.75

*TOP OF FRAME ELEVATIONS FIELD
SURVEYED, INVERT ELEVATIONS BASED
ON RECORD SEWER MAP, AS
TRANSFORMED TO NAVD 88 BY
SUBTRACTING 0.98 FEET FROM THE
NOTED 28 ELEVATIONS OF RECORD

* SEE SHEET 2 OF 2 FOR MAP LEGEND

FRANKLIN SURVEYS

115 Popple Bridge Rd.
Griswold, CT 06351 (860) 748-6183
www.franklinsurveys.com

SCALE

1" = 50'



REVISIONS:

DATE NOTE

PATH: \\P00713\Drawings\384-394 Willets.dwg

PREPARED FOR:

SIG CON ASSOCIATES, LLC

PROPERTY & TOPOGRAPHIC
SURVEY

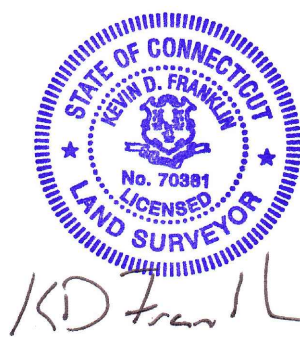
OF

Nos. 384 AND 394
WILLETTS AVENUE EXTENSION
WATERFORD,
CONNECTICUT

AUGUST 12, 2020

SHEET No. 1 of 2

To my knowledge and belief, this map is substantially correct as
noted hereon. Reproductions of this map are not valid without
the live seal and signature of the undersigned professional.

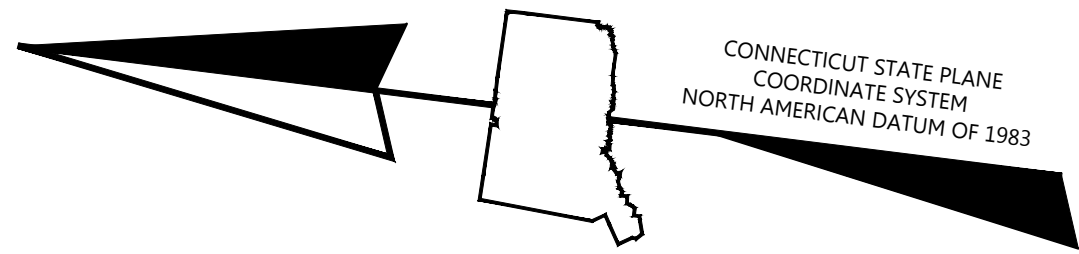


Kevin D. Franklin, PLS

License No. 70381

N/F
Forza Partners LLC
No. 82 Boston Post Road
Map 134 / Lot 549
Volume 1580, Page 110

N/F
Waterford Parc LLC
No. 22 Miner Lane
Map 139 / Lot 4756
Volume 1576, Page 306



SYMBOL LEGEND

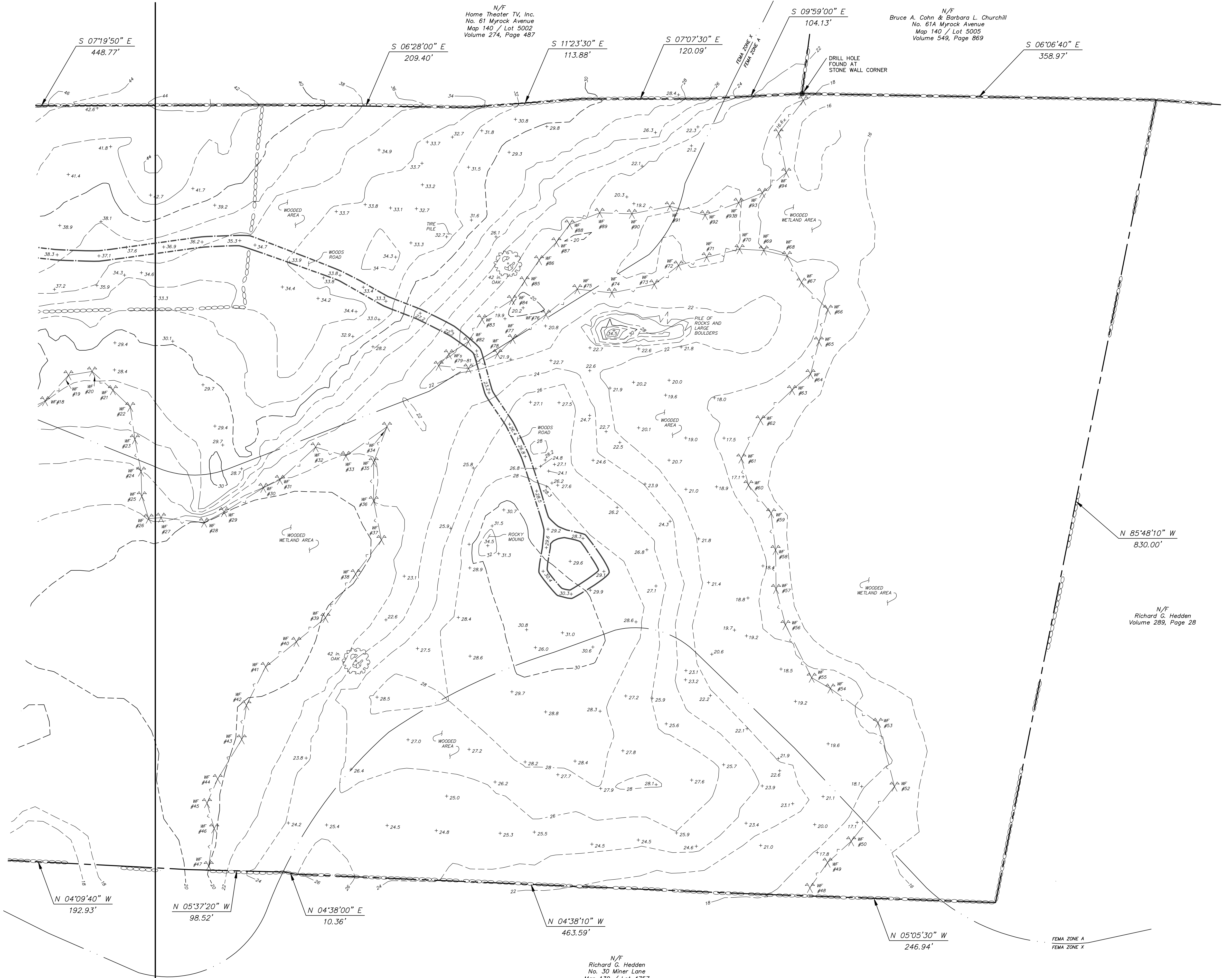
- Iron property marker
- Drill hole property marker
- Concrete highway bound
- Spot elevation
- Utility pole
- Guy wire anchor
- Fire hydrant
- Water valve
- Catch basin
- Sanitary manhole
- Sign
- Wetland flag

LINESTYLE LEGEND

- Property line
- Easement line
- Edge of pavement
- Edge of trail
- Stone wall
- Limits of tree clearing
- Inland wetlands delineation
- Sanitary sewer line
- Water line
- Stormwater drainage line
- Gas line
- Electric line
- Overhead wires
- Approximate FEMA flood zone boundary (see surveyor's note #4)
- Major contour (10-foot interval)
- Minor contour (2-foot interval)

SHADING LEGEND

- Face of building
- 10-foot wide right of way on #394 Willetts in favor of #396 Willetts



FRANKLIN SURVEYS

115 Popple Bridge Rd.
Griswold, CT 06351

(860) 748-6183
www.franklinsurveys.com

SCALE
1" = 50'
0 25 50 100
FEET

REVISIONS:	
DATE	NOTE
PATH: UP\00713\Drawings\384-394 Willetts.dwg	
PREPARED FOR:	
SIG CON ASSOCIATES, LLC	

**PROPERTY & TOPOGRAPHIC
SURVEY**

OF

**Nos. 384 AND 394
WILLETTS AVENUE EXTENSION
WATERFORD,
CONNECTICUT**

AUGUST 12, 2020

SHEET No. 2 of 2

* SEE SHEET 1 OF 2 FOR SURVEYOR'S NOTES AND LOCUS MAP