

NOTES:

- THIS PLAN IS A COMPILED PLAN AND HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20, "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS EXPRESSLY NOTED THAT THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS FURTHER NOTED THAT THIS PLAN IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS A RESULT OF A FIELD SURVEY, AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. THE HORIZONTAL ACCURACY CONFORMS TO CLASS D.
- NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS THE PRINT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW OR THEREON.
- REFERENCE IS MADE TO WATERFORD LAND EVIDENCE RECORDS VOLUME 1212 AT PAGE 262 FOR A WARRANTY DEED DATED NOVEMBER 23, 2011 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN THE OS ZONE DISTRICT.
- BY GRAPHICAL DEPICTION ONLY, THIS PARCEL LIES WITHIN FLOOD HAZARD ZONES AE(1) & X AS SHOWN ON "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT PANEL 484, COMMUNITY: TOWN OF WATERFORD MAP NUMBER: 09011C0484J MAP EFFECTIVE: 8/5/2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
- THE SUBJECT PROPERTY IS SHOWN ON THE WATERFORD TAX ASSESSOR MAP 159 AS LOT 3814 AND HAS AN ASSIGNED STREET ADDRESS OF 247R SHORE ROAD.
- THE BASIS FOR BEARINGS IS CONNECTICUT GRID NORTH NAD83. ELEVATIONS ARE BASED ON MEAN SEA LEVEL.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO LAND SURVEYING, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- THE INLAND WETLANDS LOCATION SHOWN HEREON WERE DELINEATED IN THE FIELD BY RICHARD SNARSKI, CERTIFIED SOIL SCIENTIST.

MAP REFERENCES:

JORDAN VIEW RESUBDIVISION PROPERTY OF NEW LONDON COUNTRY CLUB, INC. 28 LAMPHERE ROAD WATERFORD SHEETS 1-4 OF 4 DATE: DECEMBER 5, 2005 REVISED 12/04/06 BY GERWICK-MERREN LLC.

ZONE: OS ZONING COMPLIANCE CHART		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	200,00 SQ FT	215,945 SQ FT
MINIMUM FRONTAGE	50'	51.25'
MINIMUM WIDTH	200'	576.05'
MAXIMUM COVERAGE	15%	2%
MINIMUM FRONT YARD	75'	99'
MINIMUM SIDE YARD	50'	170'
MINIMUM REAR YARD	75'	136'
MAXIMUM HEIGHT	35'	19'

ALL SETBACKS ARE MEASURED TO THE ROOF OVERHANG, CHIMNEY, CORNICE, OR OTHER SIMILAR ARCHITECTURAL FEATURE.

TEST HOLE DATA
APRIL 12, 2005

TH#1
0-12" TS
12"-36" MD BROWN SILT LOAM
36"-84" GREY SAND GRAVEL, COBBLES

GREY MOTTLING

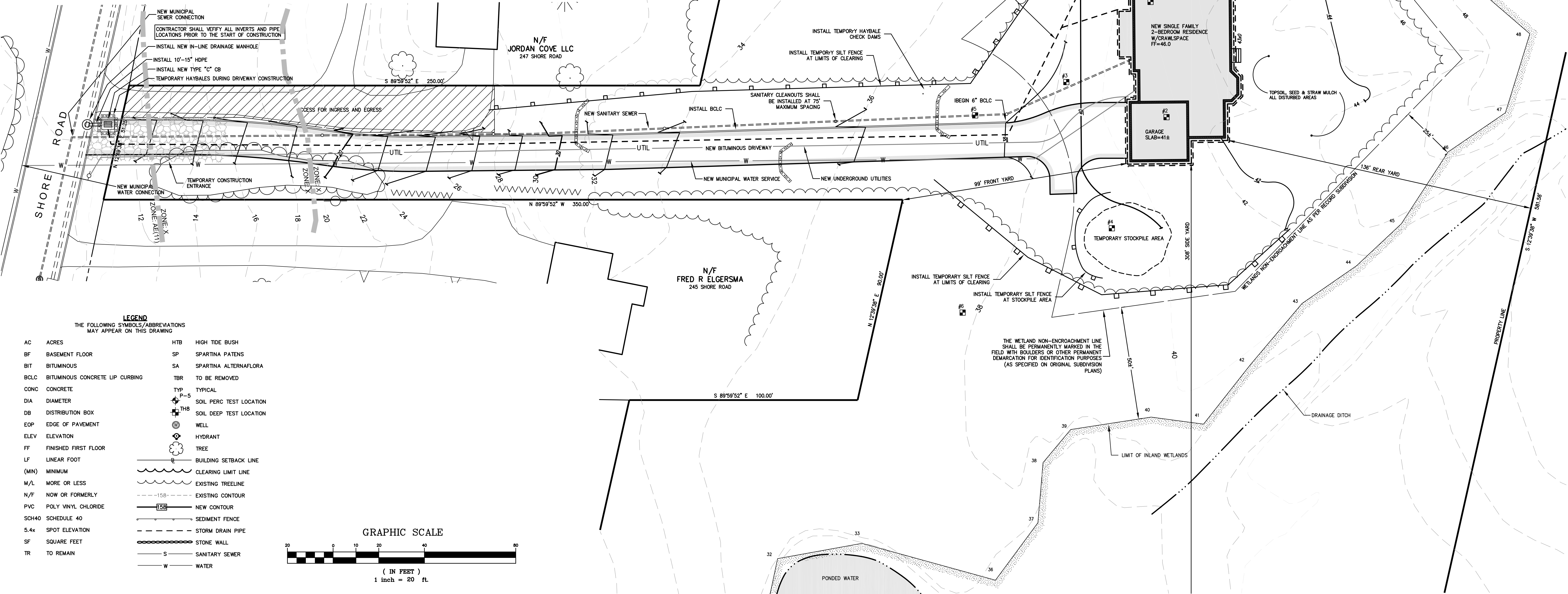
TH#2
0-12" TS
12"-24" MD. BROWN SILT LOAM
23"-46" MD. BROWN/GR. GRAVELLY SAND
49"-96" WET GREY SANDY GRAVEL
GREY MOTTLING AT 24"
WATER AT 24"

TH#3
0-10" TS
10"-24" MD. BROWN SILT LOAM
23"-36" MD. BROWN SILT LOAM AND GRAVEL
36"-84" LT. BROWN GREY SAND GRAVEL
GREY MOTTLING

TH#4
0-12" TS
12"-24" MD. BROWN SILT LOAM
24"-48" BAND OF GREY MOTTLING
48"-56" RED SILTY SAND
56"-96" GREY SAND, GRAVEL
BAND OF GREY MOTTLING AT 24" WATER AT 46"

TH#5
0-12" TS
12"-36" LT. BROWN SILT LOAM
36"-48" RED SANDY GRAVEL
48"-96" MD. BROWN GRAVEL, SAND
GREY MOTTLING AT 36"

TH#6
0-8" TS
8"-36" RED BROWN SANDY LOAM
36"-48" MD. BROWN/GREY FINES
48"-96" WET GREY /BROWN, SANDY GRAVEL
NO MOTTLING
WATER AT 48"



ZONING LOCATION SURVEY

PROPERTY OF

**MICHAEL C. DOHERTY JR. &
KAREN C. DOHERTY**

FOR PROPERTY LOCATED AT

247R SHORE ROAD

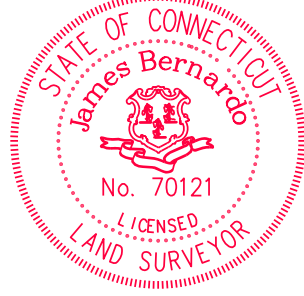
TOWN OF WATERFORD - COUNTY OF NEW LONDON - STATE OF CONNECTICUT

LTR	DESCRIPTION	DATE
	REVISIONS	

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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James Bernardo
JAMES BERNARDO LICENSE #70121

12-1-2020
DATE

Scale:
1"=20'

Date
NOVEMBER 23, 2020

Project No.
20095-1

Sheet No.

S-01

SHEET 1 OF 2

EROSION & SEDIMENTATION CONTROL NARRATIVE
247R SHORE ROAD
DECEMBER 7, 2020

THE PROJECT CONSISTS OF A 4.96 ACRE PROPERTY LOCATED ON THE EASTERLY SIDE OF SHORE ROAD. ANTICIPATED PROJECT COMMENCEMENT IS ESTIMATED TO BE ABOUT JANUARY 2021. HOUSE CONSTRUCTION IS ESTIMATED TO TAKE THREE TO SIX MONTHS FROM THE ISSUANCE OF A FOUNDATION PERMIT. WHILE IT IS DIFFICULT TO ACCURATELY ANTICIPATE ALL CONSTRUCTION ACTIVITIES THAT MAY AFFECT SEQUENCING OF CONSTRUCTION WORK, THE FOLLOWING MAJOR ACTIVITIES ARE INTENDED TO BE SEQUENCED AS FOLLOWS:

CONSTRUCTION SEQUENCE

1. PRE CONSTRUCTION MEETING
NO WORK IS TO BEGIN PRIOR TO A PRE-CONSTRUCTION MEETING WITH THE TOWN ENVIRONMENTAL PLANNING AND ZONING ENFORCEMENT OFFICE. THE APPLICANT OR AGENT, THE ON-SITE CONSTRUCTION SUPERVISOR SHALL BE PRESENT. THE CONTRACTOR SHALL ENSURE THAT ANY AND ALL ADDITIONAL CONSTRUCTION RELATED PERMITS ARE IN PLACE PRIOR TO ANY WORK WITHIN THE SITE. THE APPLICANT OR AGENT SHALL ALSO ENSURE THAT ALL NECESSARY ARRANGEMENTS WITH ANY APPROPRIATE AUTHORITIES (FOR INSPECTION PURPOSES, DETAIL SHOP DRAWING REVIEWS, ETC.) HAVE BEEN COMPLETED PRIOR TO CONSTRUCTION. WHILE MANY OF THESE ITEMS MAY BE ADDRESSED AT THE PRE-CONSTRUCTION MEETING, IT DOES NOT RELIEVE THE CONTRACTOR FROM ANY SUCH REQUIREMENTS THAT MAY EXIST.

2. LIMITS OF CLEARING
LIMITS OF GENERAL CLEARING SHALL BE CLEARLY MARKED IN THE FIELD BY A LICENSED LAND SURVEYOR. CLEARING LIMITS SHALL BE INSPECTED AND APPROVED BY TOWN STAFF. CLEARING OF TREES AND OTHER VEGETATION MAY BEGIN, ONLY IF THERE IS NO GRUBBING OR STUMPING ACTIVITIES INVOLVED. THESE ACTIVITIES WILL BE ALLOWED ONLY AFTER THE COMPLETION OF ITEM 3, INSTALLATION OF EROSION CONTROL BARRIERS.

3. INSTALLATION OF E&S CONTROLS
INSTALLATION OF E&S CONTROLS, INCLUDING:
A. INSTALLATION OF SILT FENCE TO BE INSTALLED.
B. NO CONSTRUCTION ACTIVITY SHALL BEGIN WITHOUT PROPER INSTALLATION OF APPROPRIATE E&S MEASURES AND APPROVAL BY THE TOWN, TOWN STAFF AND TOWN AGENCIES SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY ACTIVITY AND, SHALL APPROVE STOCKPILE AND STAGING AREAS.

4. CONSTRUCTION ACCESS
CONSTRUCTION ACCESS PAD TO BE INSTALLED ON SHORE RD AS APPROPRIATE FOR THE RESPECTIVE AREA. STONE AND DIMENSION SHALL BE PER DETAIL.

5. STUMP AND TOPSOIL REMOVAL
REMOVE STUMPS STRIP AND STOCKPILE TOPSOIL AND SEED WITH TEMPORARY SEED MIX. NO ON-SITE BURYING OF STUMPS WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE ZONING ENFORCEMENT OFFICER.

ANY REQUIRED SEDIMENTATION CONTROLS FOR STOCKPILED AREAS SHALL BE IN PLACE PRIOR TO PLACEMENT OF MATERIAL. STOCKPILING OF MATERIAL SHALL BE LOCATED AS SHOWN ON THIS AND TO BE APPROVED BY TOWN STAFF. NO STOCKPILES SHALL BE ALLOWED WITHIN 50 FEET OF WETLANDS. SEEDING AND MULCHING OF STOCKPILE SHALL TAKE PLACE WITHIN 15 DAYS.

6. INSTALLATION OF CURB CUT & DRAINAGE
PROPER PERMITS SHALL BE SECURED FROM THE TOWN OF WATER FOR PUBLIC WORKS DEPARTMENT PRIOR TO THE COMMENCEMENT OF WORK WITHIN THE TOWN RIGHT OF WAY FOR THE INSTALLATION OF THE DRIVEWAY CURB CUT.

PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL PIPE LOCATIONS AND ELEVATIONS AND REPORT ANY DISCREPANCIES TO THIS OFFICE. THE CONTRACTOR SHALL INSTALL THE NEW DRAINAGE MANHOLE AND CATCHBASIN BEGINNING FROM THE MANHOLE AND WORKING UPSTREAM TO THE CATCH BASIN.

7. WATER AND OTHER UTILITIES
COORDINATE WITH INSPECTING AUTHORITY FOR THE INSTALLATION OF WATER MAINS. INSTALL WATER AND STORMWATER COLLECTION SYSTEMS, INSTALL SERVICE LATERALS AND UNDERGROUND UTILITIES.

8. INSTALL FOOTING DEWATERING DRAIN PIPE.
THE CONTRACTOR SHALL INSTALL A 6" PVC DRAIN PIPE EASTERLY UP THE DRIVEWAY TO BE USED FOR DEWATERING PURPOSES. DRAIN OUTLET TO THE INTO TOWN DRAINAGE SYSTEM.

9. FOUNDATION EXCAVATION
DUE TO THE PRESENCE OF HIGH GROUNDWATER TABLE THE PROPOSED FOUNDATION WILL BE A GRAWL SPACE. IT IS ANTICIPATED THAT THE FOUNDATION WILL BE EXCAVATED BETWEEN JANUARY 2021 AND MARCH 2021. THE CONTRACTOR SHALL BE PREPARED TO INSTALL A DEWATERING BASIN TO ALLOW PUMP DISCHARGE DURING FOUNDATION EXCAVATION. THE DEWATERING BASIN SHALL DISCHARGE TO THE 6" PVC PIPE INSTALLED DURING THE CATCH BASIN INSTALLATION. PUMPED WATER SHALL NOT BE PERMITTED TO LEAVE THE SITE BY OVER LAND FLOW. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DISCHARGE TO THE TOWN DRAINAGE SYSTEM SHALL BE CLEARWATER. DISCHARGE OF DISCOLORED WATER SHALL NOT BE ALLOWED AND THE CONTRACTOR SHALL BE REQUIRED TO SLOW THE RATE OF PUMPING, ENLARGE THE DEWATERING BASIN OR BY OTHER MEANS TO CREATE A CLEAR WATER DISCHARGE. COMPLETION OF THE FOUNDATION AND ANY NEED FOR FURTHER PUMPING THE DEWATERING BASIN SHALL BE ELIMINATED.

10. FINISH LOAM AND SEED
FINISH LOAMING AND SEATING OF ALL DISTURBED AREAS. FINAL STABILIZATION OF DISTURBED AND GRADED AREAS SHALL BE FINISHED WITH LOAM AND SEED. LOAM (TOPSOIL AND SUBSOIL) SHALL BE PLACED AT A MINIMUM DEPTH OF 4". A FERTILIZER MIX SHELL PROVIDED AS FOLLOWS:

FERTILIZERS MAY BE APPLIED AT A RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 OR NATURAL (MANURE) FERTILIZERS MAY BE SUBSTITUTED WITH LIME APPLIED AT A RATE OF 180 LB PER 1000 S.F. (4 TONS PER ACRE, OR AS SUGGESTED AFTER SOIL TESTING).

THE RECOMMENDED SEATING DATES ARE BETWEEN APRIL 15TH THROUGH JUNE 15TH AND AUGUST 15TH THROUGH OCTOBER 11TH. SEED MIXES MAY VARY WITHIN THE SITE, BUT IN GENERAL WILL CONFORM TO THE FOLLOWING MIXTURES:

PERMANENT VEGETATIVE COVER
GENERAL: DISTURBED AREAS SHALL BE SEATED WITH .45 LB PER 1000 S.F. (20 LB PER ACRE) OF CREEPING RED OR TALL FESCUE, .05 LB PER 1000 S.F. (2 LB PER ACRE) OF REDTOP, AND 20 LB PER 1000 S.F. (8 LB PER ACRE) OF BIRDSFOOT TREFOIL WITH INOCULANT OR AN APPROVED EQUAL SUBSTITUTE.

TEMPORARY VEGETATIVE COVER:

THE RECOMMENDED SEATING DATES FOR TEMPORARY COVER ARE FROM MARCH ONE THROUGH JUNE 15TH IN AUGUST 1 THROUGH OCTOBER 15TH AND SHALL CONSIST OF 1.0 LB PER 1000 SF OF ANNUAL RYEGRASS.

IN THE EVENT THAT COVER IS REQUIRED FOR STOCKPILES OR FINISHED AREAS OUTSIDE OF NORMAL SEEDING DATES, STRAW MULCHING SHALL BE APPLIED AT THE RATE OF 90 LB PER 1000 SF OTHER MULCH MATERIALS USED SHALL BE APPROVED AND APPLIED AT THE RECOMMENDED RATES OF THE CONNECTICUT GUIDELINES FOR SOIL AND EROSION AND SEDIMENT CONTROL MANUAL.

MULCH/EROSION BLANKETS
DISTURBED AREAS SHALL BE MULCHED AFTER LOOMING AND SEATING. MULCH SHALL CONSIST OF STRAW OR HAY AT THE RATE OF 90 LB PER 1000 SF. MULCH SHALL BE ANCHORED WHEN DEEMED NECESSARY BY THE TOWN ZONING OFFICER. ANCHORING METHODS SHALL CONSIST OF MULCH NETTING OR ASPHALT SPRAY. SLOPES OF 3:1 H: 1 V OR GREATER SHALL BE PROTECTED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKET S 75 OR EQUAL.

SEEDBED
SEEDBED PREPARATION WILL CONFORM TO THE STANDARDS RECOMMENDED BY THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL (REV. 2002). HYDROSEEDING WILL BE PERMITTED ONLY ON SLOPES THAT ARE NO STEEPER THAN 2:1 HORIZONTALLY TO 1:1 VERTICALLY. WHERE HYDROSEEDING IS USED THE ABOVE SEATING RATE SHALL BE INCREASED BY 100%. ALL SEEDED AREAS SHALL BE MAINTAINED AND RESEEDED IF NECESSARY, UNTIL SUFFICIENT STANDS OF GRASS ARE ESTABLISHED.

11. RESIDENTIAL HOUSE CONSTRUCTION
A. INSTALL EROSION CONTROLS AND BEGIN CUTS AND FILLS FOR SITE GRADING.
B. EXCAVATE FOUNDATION HOLE DEWATERING AS NECESSARY (SEE NOTE 9 ABOVE).
C. BACKFILL FOUNDATION AND REMOVE DEWATERING BASIN WHEN COMPLETED.
D. SET MODULAR HOME.
E. INSTALL SITE UTILITIES
F. CONNECT ALL ROOF DOWNSPOUTS INTO THE 6" PVC DEWATERING PIPE
G. FINISH GRADE LOT, LOAM AND SEED.
H. COMPLETE ALL OTHER DETAILS FOR ZONING COMPLIANCE CERTIFICATE PRIOR TO THE ISSUANCE OF ANY C.O.

12. EROSION CONTROL AGENT
RESPONSIBILITY FOR INSTALLATION OF THE ABOVE WORK SHALL BELONG TO THE PROPERTY OWNER. THE PROPERTY OWNER SHALL DESIGNATE AN ON-SITE AGENT TO BE APPROVED BY THE TOWN. PRIOR TO ANY EXCAVATION, THE ON-SITE AGENT SHALL BE RESPONSIBLE FOR ENSURING TO THE TOWN THAT ACTUAL MEASURES TAKEN COMPLY WITH THE CERTIFIED PLAN PRIOR TO ANY CONSTRUCTION. THE CONTACT PERSON FOR THE ON SITE MEASURES SHALL BE ROBERT DUSKA OF IRON HORSE CONSTRUCTION. HIS CELL PHONE NUMBER IS 860-559-3324. SAID INDIVIDUAL SHALL MAKE OR SUBMIT MONTHLY REPORTS TO THE TOWN OF WATER FURRED. SHOULD THE OWNER WISH A DIFFERENT INDIVIDUAL TO BE NAMED AS AGENT, THE CHANGE MUST BE APPROVED BY THE ZONING OFFICER TO ENSURE SAID INDIVIDUAL WILL BE ADEQUATELY QUALIFIED TO CARRY OUT THE RESPONSIBILITIES OF THE AGENT.

WHILE SIGNIFICANT EFFORT HAS BEEN MADE TO ANTICIPATE EROSION POTENTIAL AND LOCATION UNFORESEEN 'PROBLEM' AREAS MAY DEVELOP. IT IS THE INTENTION OF THIS PLAN TO PREVENT AND CONTAIN EROSION WHEREVER POSSIBLE. TO THIS END, THE CONTRACTOR MAY FIND THAT IT IS NECESSARY TO INSTALL ADDITIONAL SEDIMENT BARRIERS, CUT OFF TRENCHES AND/OR STONE OR EARTH BERMS TO MEET THE INTENT OF THIS PLAN.

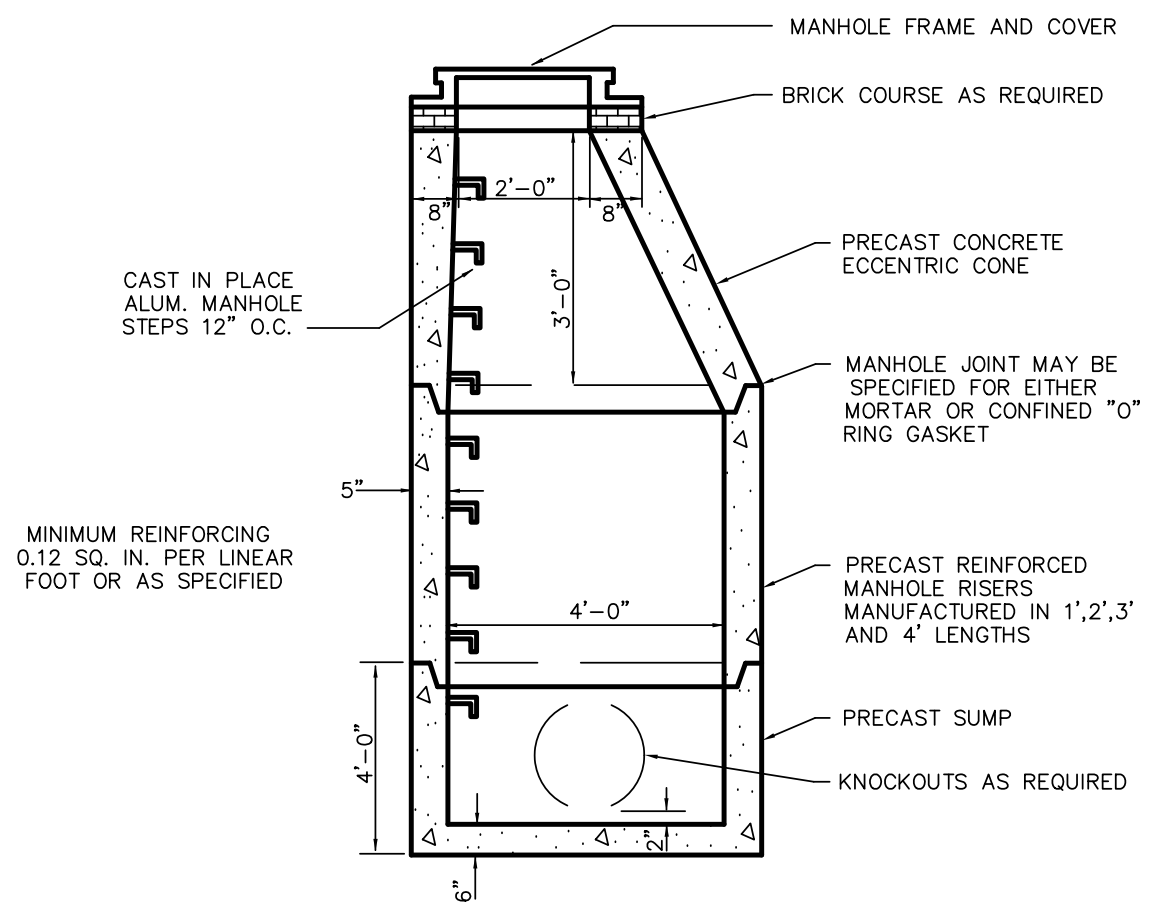
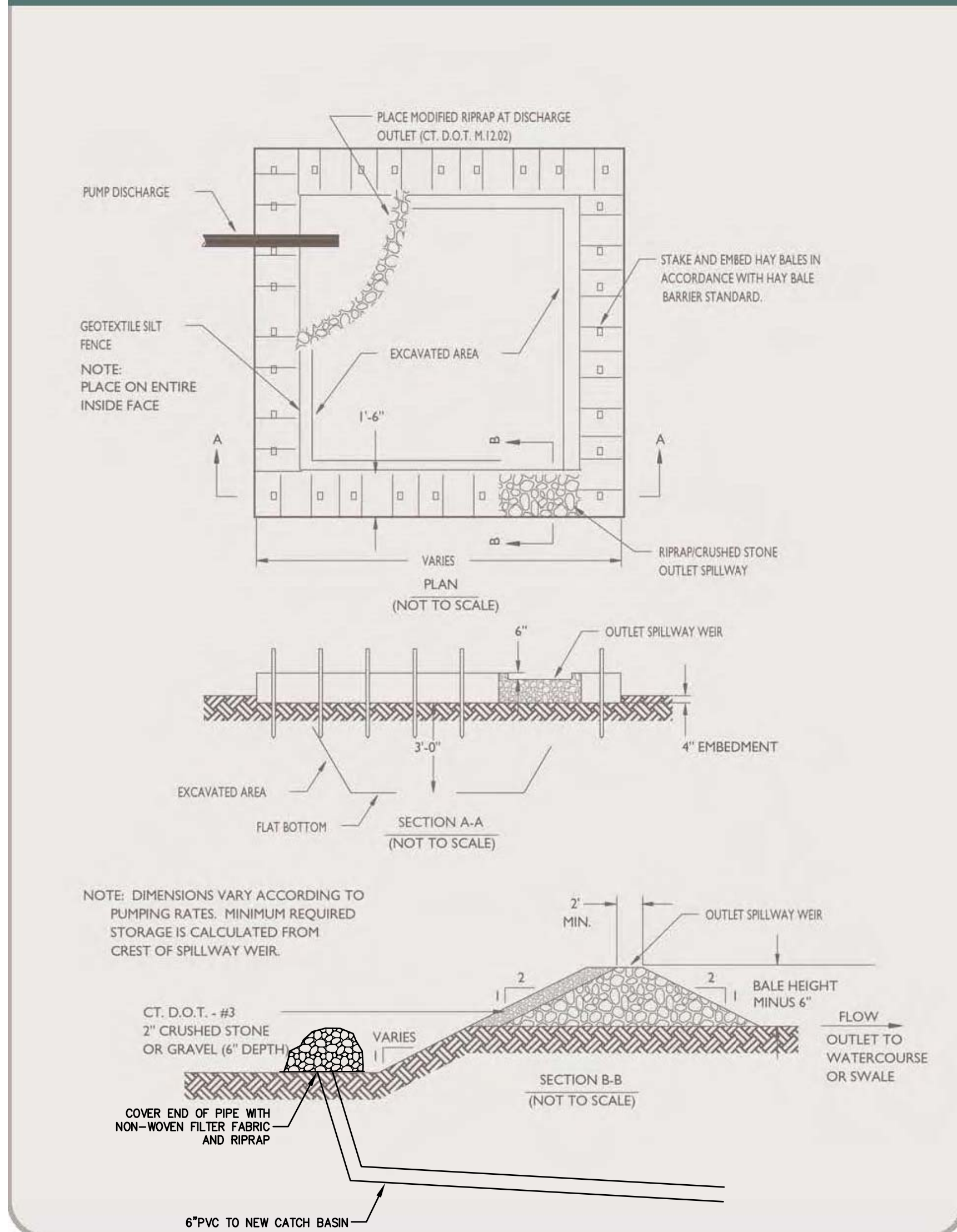
13. INSPECTION AND MAINTENANCE
THE ON-SITE AGENT SHALL INSPECT ALL OF THE ABOVE MEASURES ON A WEEKLY BASIS. THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF ALL E&S CONTROLS. INSPECTION OF CONTROL MEASURES SHALL BE DONE IMMEDIATELY AFTER ANY SIGNIFICANT ADVERSE WEATHER CONDITIONS. IF CONTROL MEASURES BECOME NONFUNCTIONAL, ACTION SHALL BE TAKEN TO RESTORE THE EFFECTIVENESS OF THE MEASURES. SHOULD SIGNIFICANT BREACH OF ANY BARRIERS OCCUR AND RESULT IN THE DEPOSITION OF SEDIMENT BEYOND SAID BARRIER, EXCESS SEDIMENT SHALL BE REMOVED AS DIRECTED BY THE TOWN ENVIRONMENTAL OR ZONING OFFICER. ALL CONTROL MEASURES SHALL BE INSPECTED FOR PROPER OPERATION AND REPLACED AS NECESSARY.

IN GENERAL, THE CONTRACTOR SHOULD TRY TO IDENTIFY POTENTIAL 'PROBLEM' AREAS PRIOR TO FAILURE. A FEW MAJOR POTENTIAL PROBLEMS ARE IDENTIFIED ABOVE, BUT THEY DO NOT RELIEVE THE CONTRACTOR FROM ADDRESSING OTHER PROBLEMS OR FAILURES SUCH AS SPELL DISPLACEMENT, UNDERCUTTING OF BALES OR FENCE, FENCE COLLAPSING, TORN FABRIC, RUN OFF A SCAPING AROUND END OF BARRIER, OR SEDIMENT BUILDUP BEHIND BARRIERS. HAY BALES AND SILT FENCE SHALL HAVE SEDIMENT REMOVED BEFORE IT BUILDS UP TO HALF THE LEVEL OF THE ORIGINAL BARRIER.

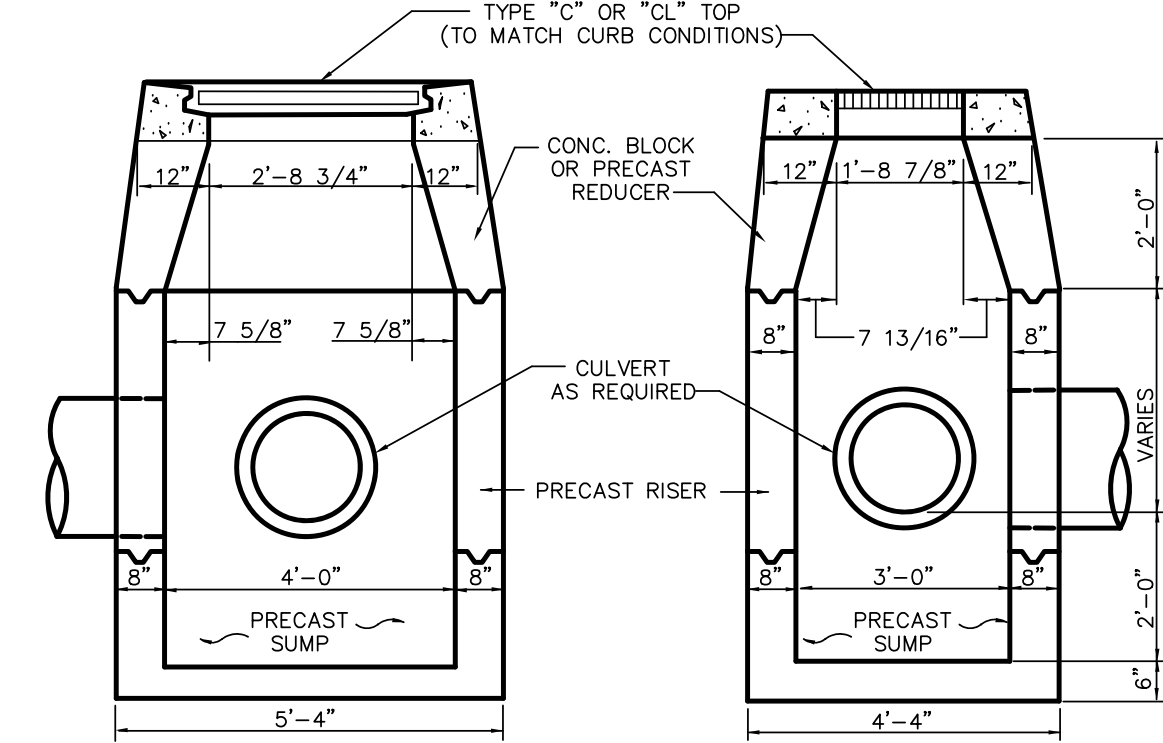
ALL MEASURES SHALL REMAIN IN PLACE, INSPECTED BY THE ON-SITE AGENT, AND MAINTAINED BY THE OWNER UNTIL THE ZONING OFFICER IS SATISFIED THAT THE ASSOCIATED SITE HAS BEEN STABILIZED.

14. EROSION IN SEDIMENTATION CONTROL REPLACEMENT
ALL EROSION CONTROL MEASURES SHALL BE UPGRADED OR REPLACED SOONER THAN SCHEDULED IF THEY EXHIBIT ANY MARKED SIGNS OF DETERIORATION, FAILURE OR INADEQUACY. AS HAY BELLS GENERALLY HAVE A RELATIVELY SHORT LIFESPAN THEY SHOULD ONLY BE USED WHERE THEY WILL BE REQUIRED FOR 60 DAYS OR LESS. HEY BELL SHALL BE REPLACED AT LEAST EVERY THREE MONTHS (SOONER IF THERE ARE ANY SIGNS OF DETERIORATION). SILT FENCE THAT IS INTENDED TO BE IN PLACE FOR PERIODS GREATER THAN THREE MONTHS SHALL HAVE U. V. RESISTANCE OF 80% OR GREATER.

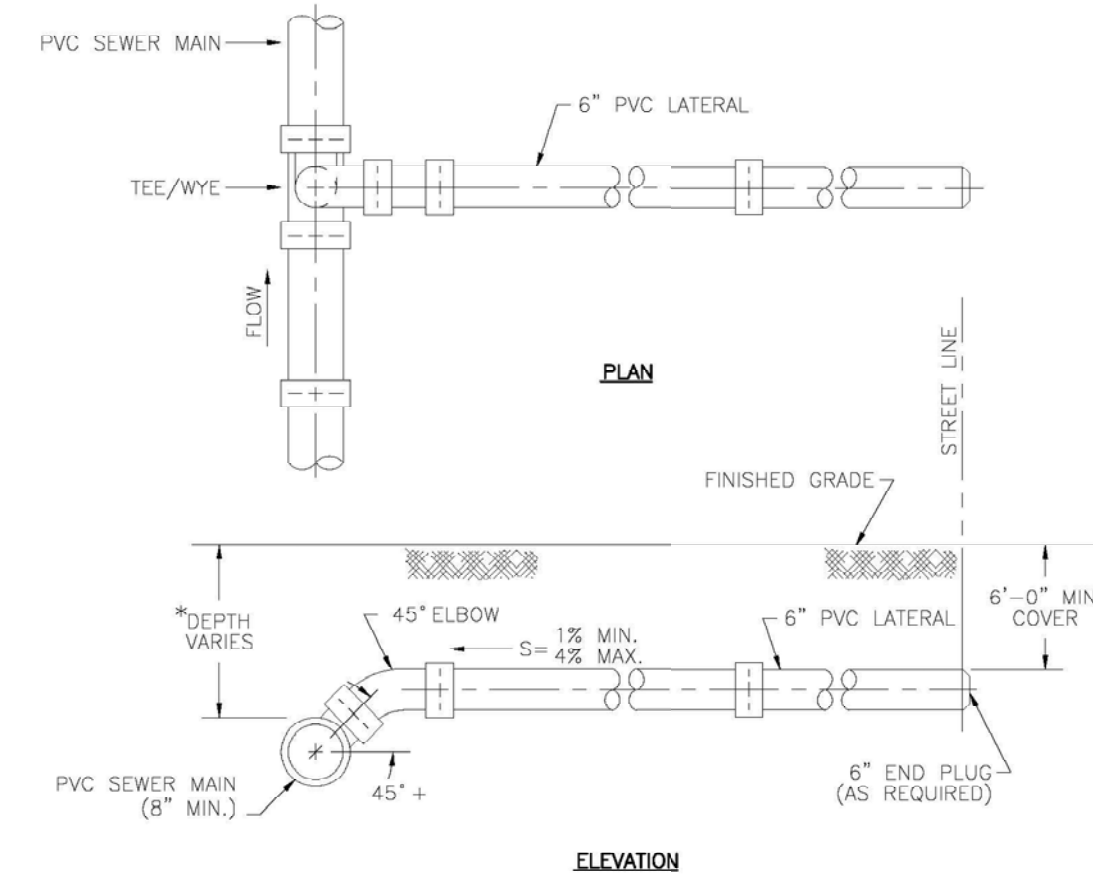
Figure PSB-2 Example of Type II Dewatering Setting Basin



PRECAST STORM MANHOLE
NOT TO SCALE



TYPE "C" OR "CL" CATCH BASIN WITH SUMP
NOT TO SCALE



*-TYPE "A" HOUSE CONNECTION IS FOR DEPTHS UP TO 12 FEET.

ZONING LOCATION SURVEY

PROPERTY OF

MICHAEL C. DOHERTY JR. &
KAREN C. DOHERTY

FOR PROPERTY LOCATED AT

247R SHORE ROAD

TOWN OF WATERFORD - COUNTY OF NEW LONDON - STATE OF CONNECTICUT

LTR	DESCRIPTION	DATE
	REVISIONS	

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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James Bernardo
JAMES BERNARDO LICENSE #70121

12-1-2020
DATE

Scale:

1" = 20'

Date

NOVEMBER 23, 2020

Project No.
20095-1

Sheet No.

S-02

SHEET 2 OF 2