

LOMBARDI RESUBDIVISION

PROPERTY OF

JOHN LOMBARDI, JR.

198 SHORE ROAD

WATERFORD, CONNECTICUT

ZONE: R-40

DATE: JULY 10, 2021

LEGEND	
THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING	
AC	ACRES
BF	BASEMENT FLOOR
BT	BITUMINOUS
BCLC	BITUMINOUS CONCRETE LIP CURBING
CONC	CONCRETE
DIA	DIAMETER
DB	DISTRIBUTION BOX
EOP	EDGE OF PAVEMENT
ELEV	ELEVATION
FF	FINISHED FIRST FLOOR
LF	LINEAR FOOT
(MIN)	MINIMUM
M/L	MORE OR LESS
N/F	NOW OR FORMERLY
PVC	POLY VINYL CHLORIDE
SCH40	SCHEDULE 40
5.4x	SPOT ELEVATION
SF	SQUARE FEET
TR	TO REMAIN
HTB	HIGH TIDE BUSH
SP	SPARTINA PATENS
SA	SPARTINA ALTERNIFLORA
TBR	TO BE REMOVED
TYP	TYPICAL
⊕	SOIL PERC TEST LOCATION
⊕	SOIL DEEP TEST LOCATION
⊕	WELL
⊕	HYDRANT
⊕	TREE
—	BUILDING SETBACK LINE
—	CLEARING LIMIT LINE
—	EXISTING TREELINE
—	EXISTING CONTOUR
—	NEW CONTOUR
—	SEDIMENT FENCE
—	STORM DRAIN PIPE
—	STONE WALL
—	SANITARY SEWER
—	WATER

GENERAL SUBDIVISION NOTES:

- THIS PLAN IS FOR PERMIT PURPOSES ONLY, IT IS NOT A CONTRACT DOCUMENT.
- THE PURPOSE OF THIS RESUBDIVISION AND PLAN IS TO CREATE 2 NEW RESIDENTIAL BUILDING LOTS.
- THIS SUBDIVISION IS SUITABLE FOR RESIDENTIAL DEVELOPMENT. A VARIETY OF ARCHITECTURAL STYLES, TAKING ADVANTAGE OF NATURALLY OCCURRING SLOPES SHALL BE ENCOURAGED WITHIN THE SUBDIVISION.
- THIS SUBDIVISION HAS BEEN PLANNED AND DESIGNED TO ENCOURAGE ENERGY CONSERVATION, ENERGY EFFICIENT DEVELOPMENT PATTERN AND THE USE OF RENEWABLE ENERGY FORMS. THE US DEPARTMENT OF ENERGY RECOMMENDS INCORPORATION OF THE FIVE ELEMENTS OF PASSIVE SOLAR HOME DESIGN. THE FOLLOWING FIVE ELEMENTS CONSTITUTE A COMPLETE PASSIVE SOLAR HOME DESIGN. EACH PERFORMS A SEPARATE FUNCTION, BUT ALL FIVE MUST WORK TOGETHER FOR THE DESIGN TO BE SUCCESSFUL.

APERTURE (COLLECTOR)

THE LARGE GLASS (WINDOW) AREA THROUGH WHICH SUNLIGHT ENTERS THE BUILDING. TYPICALLY, THE APERTURE(S) SHOULD FACE WITHIN 30 DEGREES OF TRUE SOUTH AND SHOULD NOT BE SHADED BY OTHER BUILDINGS OR TREES FROM 9 A.M. TO 3 P.M. EACH DAY DURING THE HEATING SEASON.

ABSORBER

THE HARD, DARKENED SURFACE OF THE STORAGE ELEMENT. THIS SURFACE—WHICH COULD BE THAT OF A MASONRY WALL, FLOOR, OR PARTITION (PHASE CHANGE MATERIAL), OR THAT OF A WATER CONTAINER—SITS IN THE DIRECT PATH OF SUNLIGHT. SUNLIGHT HITS THE SURFACE AND IS ABSORBED AS HEAT.

THERMAL MASS

THE MATERIALS THAT RETAIN OR STORE THE HEAT PRODUCED BY SUNLIGHT. THE DIFFERENCE BETWEEN THE ABSORBER AND THERMAL MASS, ALTHOUGH THEY OFTEN FORM THE SAME WALL OR FLOOR, IS THAT THE ABSORBER IS AN EXPOSED SURFACE WHEREAS THERMAL MASS IS THE MATERIAL BELOW OR BEHIND THAT SURFACE.

DISTRIBUTION

THE METHOD BY WHICH SOLAR HEAT CIRCULATES FROM THE COLLECTION AND STORAGE POINTS TO DIFFERENT AREAS OF THE HOUSE. STRICTLY PASSIVE DESIGN WILL USE THE THREE NATURAL HEAT TRANSFER MODES—CONDUCTION, CONVECTION, AND RADIATION—EXCLUSIVELY. IN SOME APPLICATIONS, HOWEVER, FANS, DUCTS, AND BLOWERS MAY HELP WITH THE DISTRIBUTION OF HEAT THROUGH THE HOUSE.

CONTROL

ROOF OVERHANGS CAN BE USED TO SHADE THE APERTURE AREA DURING SUMMER MONTHS. OTHER ELEMENTS THAT CONTROL UNDER—AND/OR OVERHEATING INCLUDE ELECTRONIC SENSING DEVICES, SUCH AS A DIFFERENTIAL THERMOSTAT THAT SIGNALS A FAN TO TURN ON, OPERABLE VENTS AND DAMPERS THAT ALLOW OR RESTRICT HEAT FLOW, LOW-EMISSIVITY BLINDS, AND AWNINGS.

- THESE PREMISES LIE ENTIRELY WITHIN THE TOWN OF WATERFORD R-40 ZONE DISTRICT AND THIS SUBDIVISION IS CONSISTENT WITH THE CURRENT REGULATIONS WITH REGARD TO LOT, YARD, AND BUILDING REQUIREMENTS.
- THE MINIMUM LOT AREA FOR ANY LOT WITHIN THIS SUBDIVISION IS 40,000 SQUARE FEET.
- ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, ROADS AND WALK SHALL BE LANDSCAPED OR PLANTED WITH GRASS. GRASS AREAS SHALL BE LOAMED (FOUR-INCH MINIMUM), FERTILIZED, SEEDED AND MULCHED AS REQUIRED TO SUIT CONDITIONS.
- NEW PROPERTY CORNERS CREATED BY THIS SUBDIVISION WILL BE MARKED ON THE GROUND IN ACCORDANCE WITH THE FOLLOWING TOWN OF WATERFORD SUBDIVISION REGULATIONS:
- MONUMENTS AND MARKERS
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF WATERFORD STANDARDS AND THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS "STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION"
- LOT DEVELOPMENT SHALL PRESERVE EXISTING SIGNIFICANT NATURAL FEATURES SUCH AS STONE WALLS AND LARGE (6" DIA OR GREATER) CALIPER TREES AND MINIMIZE CLEARING LIMITS TO A MAXIMUM FEASIBLE EXTENT.
- THE TOTAL AREA OF THE SUBDIVISION IS 90,000 SF M/L.
- ALL LOTS SHALL BE SERVED BY THE EXISTING MUNICIPAL SANITARY SEWER AND WATER SERVICE
- ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT CALL BEFORE YOU DIG AT 1-800-922-4455 PRIOR TO INITIATION OF ANY WORK.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO, LAND SURVEYING ENGINEERS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION, CALL BEFORE YOU DIG 1-800-922-4455.
- AN EXCAVATION PERMIT WILL BE REQUIRED PRIOR TO PERFORMING ANY WORK WITHIN THE TOWN RIGHT OF WAY.
- OWNER/APPLICANT:
JOHN LOMBARDI, JR.
198 SHORE ROAD
WATERFORD, CT 06385
(860)608-6111
JLOMBARDI@LOMBARDILLC.COM
- AGENT:
WILLIAM R. SWEENEY, ESO,
TOBIN, CARBERRY, O'MALLEY, RILEY & SELINGER, P.C.
43 BROAD STREET, PO BOX 58
NEW LONDON, CT 06320
- THE FOLLOWING WAIVERS ARE REQUIRED FOR THIS APPLICATION:
A WAIVER OF SECTION 5.3.8 TO ALLOW FOR 50% OF THE SUBDIVISION LOTS TO BE FLAG LOTS.
- DRIVEWAYS SERVING FLAG LOTS SHALL BE A MINIMUM OF 12' WIDE, WITH A MINIMUM OF 15' VERTICAL CLEARANCE, AND PAVED TO A MINIMUM OF 20' WITHIN THE PROPERTY. WHERE THE REMAINDER IS NOT PAVED, A MINIMUM OF 6" OF PREPRESSED GRAVEL BASE SHALL BE PROVIDED FOR THE REMAINING LENGTH OF THE DRIVE. PROPER PROVISIONS FOR STORM WATER DRAINAGE SHALL BE MADE, WHEN NECESSARY TO ASSURE THE COMPLETION OF DRIVEWAYS CONSISTENT WITH THESE STANDARDS, THE COMMISSION OR ITS AGENT MAY REQUIRE A SURETY BOND, AND/OR WITHHOLD ISSUANCE OF CERTIFICATES OF OCCUPANCY.
- NO OPEN SPACE IS PROVIDED WITH THIS SUBDIVISION.
- THE EXISTING GARAGE SHALL BE CONVERTED INTO A PRINCIPAL RESIDENCE WITH A CERTIFICATE OF OCCUPANCY ISSUED OR DEMOLISHED WITHIN 1 YEAR OF THE RESUBDIVISION APPROVAL. FAILURE TO ADHERE TO THIS CONDITION OF APPROVAL SHALL RESULT IN THE RESUBDIVISION PLAN BEING DEEMED VOID AND OF NO FURTHER EFFECT.

ZONE R-40 ZONING COMPLIANCE CHART			
	REQUIRED	LOT #1	LOT #2
MINIMUM LOT AREA	40,000 SQ FT	42,508 SQ FT	—
MINIMUM LOT AREA (FLAG LOT)	40,000 SQ FT	—	47,023 SQ FT M/L
ACCESS STRIP	—	—	4,603 SQ FT
LOT AREA PROVIDED (FLAG LOT)	40,000 SQ FT	—	42,420 SQ FT M/L
MINIMUM FRONTAGE	100'/25'	179.44'	25.00'
MINIMUM WIDTH	125'	177.3'	125'
MINIMUM FRONT YARD	50'	112.4'	85.5'
MINIMUM SIDE YARD	25'	14' (A)	57.4'
MINIMUM REAR YARD	50'	82.4' (B)	90.7'
MAXIMUM COVERAGE	20%	9%	5.5%
MAXIMUM HEIGHT	35'	23'	<35'

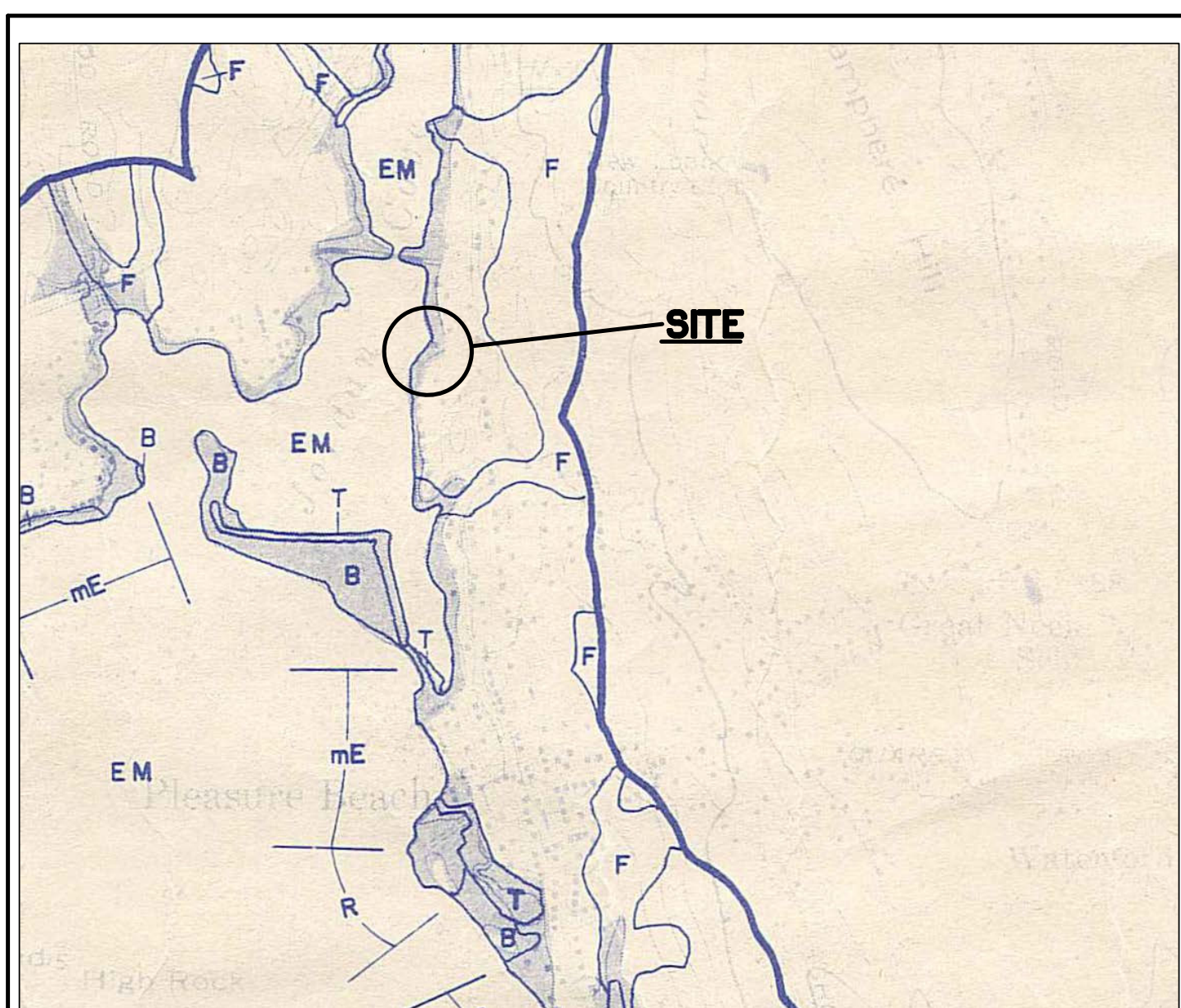
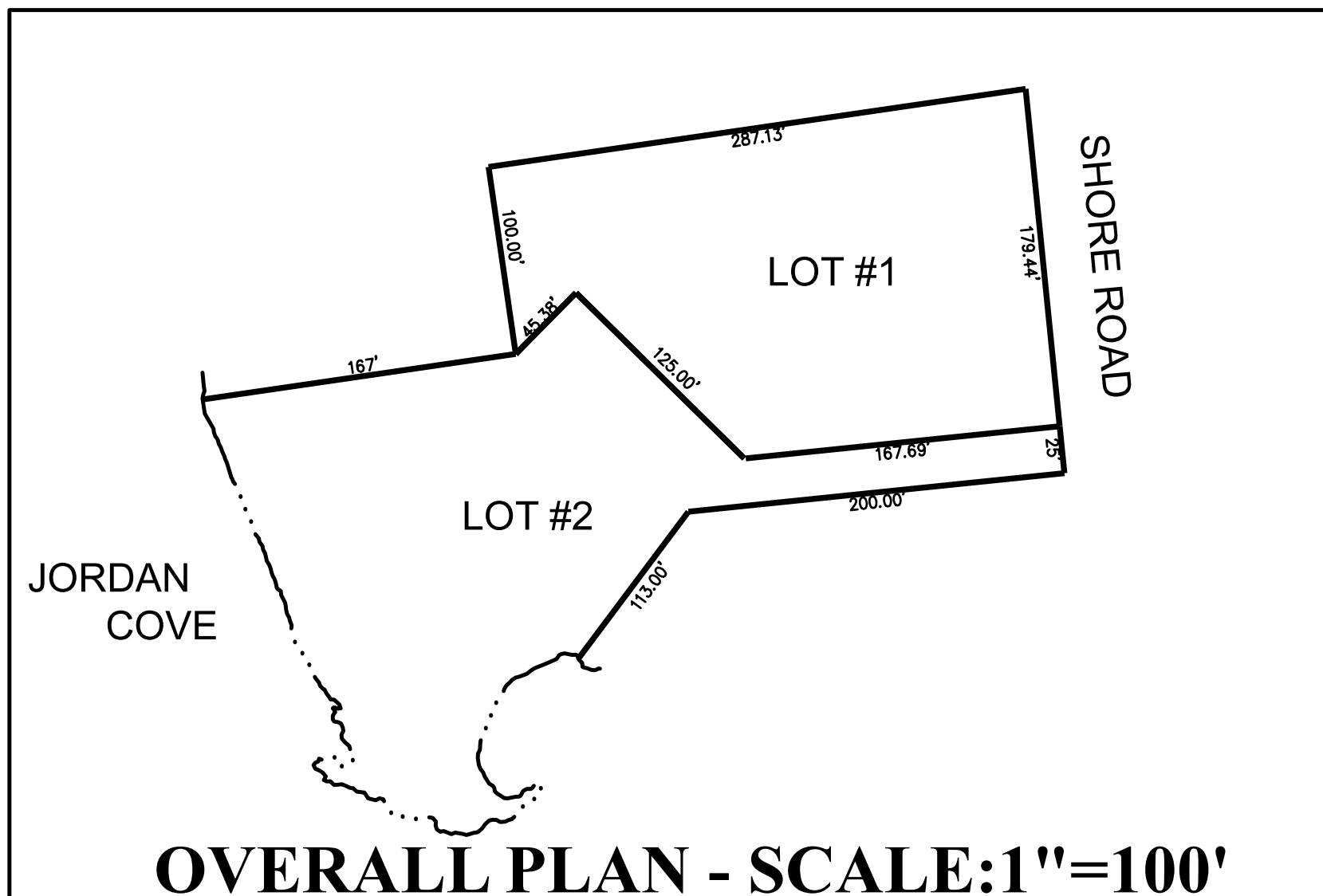
- (A) PRE-EXISTING NON-CONFORMING
(B) MEASURED TO PROPOSED GREENHOUSE

SURVEY NOTES:

- THIS PLAN AND THE SURVEY IT IS BASED ON HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS. THE TYPE OF SURVEY IS A PROPERTY SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY FOR THE PERIMETER BOUNDARY AND A FIRST SURVEY FOR THE NEW PROPERTY LINES. THE HORIZONTAL ACCURACY CONFORMS TO CLASS A-2. TOPOGRAPHIC SURVEY CLASS 1-2 AND THE VERTICAL ACCURACY CONFORMS TO CLASS V-2. NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS THE PRINT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LINE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW OR THEREON.
- REFERENCE IS MADE TO THE FOLLOWING TOWN OF WATERFORD LAND EVIDENCE RECORDS:
SEE VOLUME 1173 AT PAGE 314 FOR A PROBATE CERTIFICATE DATED JANUARY 11, 2011 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
SEE ALSO VOLUME 553 AT PAGE 488 FOR A WARRANTY DEED - SURVIVORSHIP DATED MAY 30, 2002 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO, OR BENEFITED BY THE FOLLOWING:
AN UNRECORDED 16' RIGHT OF WAY IN FAVOR OF JOHN B. LUCEY & KIM C. FRANZEL (198R SHORE ROAD) AS SHOWN ON THE MAP REFERENCE #2.
- THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN THE R-40 ZONE DISTRICT.
- BY GRAPHICAL DEPICTION ONLY, THIS PARCEL LIES WITHIN FLOOD HAZARD ZONES VE (EL. 14 FT.), AE (EL. 11 FT.) X (0.22%) AND X AS SHOWN ON "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT COMMUNITY: TOWN OF WATERFORD MAP NUMBER: 09011C0484J MAP EFFECTIVE: 8/5/2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
- THE SUBJECT PROPERTY IS SHOWN ON THE WATERFORD TAX ASSESSOR MAP 538 AS LOT 51 AND HAS AN ASSIGNED STREET ADDRESS OF 198 SHORE ROAD.
- BEARINGS AND COORDINATES NOTED HEREON ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (NAD 83) EPOCH 2011 (2010.0). ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) TRANSFORMED FROM ELLIPSOID HEIGHT TO ORTHOMETRIC HEIGHT UTILIZING NGS2018 GEOID, AS DETERMINED BY GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS UTILIZING THE STATE OF CONNECTICUT'S ADVANCED CONTINUOUSLY OPERATING REFERENCE NETWORK (ACORN) BASE STATION: CTGR, HAVING THE FOLLOWING VALUES:
LATITUDE = N41° 20' 07.3551"
LONGITUDE = W72° 02' 58.96930"
ELLIPSOID HEIGHT = -18.343 METERS
- THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY ON MARCH 3, 2021. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS ON MAY 17, 2021.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO LAND SURVEYING, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION, CALL BEFORE YOU DIG 1-800-922-4455.
- TIDAL ELEVATIONS ARE AS FOLLOWS BASED ON THE TIDAL EPOCH 83-01
C.L.: 2.1 FEET
MHW: 0.9 FEET
NAVD88: 0.0 FEET
MLW: -1.6 FEET
- THE INLAND WETLANDS SHOWN HEREON WERE DELINEATED IN THE FIELD BY JOSEPH THEROUX CERTIFIED SOIL SCIENTIST AND FIELD LOCATED BY JAMES BERNARDO LAND SURVEYING, LLC.

MAP REFERENCES:

- PLAN WASHBURN PEASE PROPERTIES SHORE ROAD WATERFORD, CONNECTICUT DATE: OCTOBER 1974 SCALE: 1"=40' R-20 ZONE WAYNE A. MORSE PROFESSIONAL LAND SURVEYOR & LAND SURVEYOR.
- IMPROVEMENT LOCATION SURVEY PREPARED FOR JOHN B. LUCEY AND KIM C. FRENZEL 198 R SHORE ROAD WATERFORD, CONNECTICUT SCALE: 1"=10' DATE: 02/02/14 SHEET NO. 1 OF 1 MAP #47 LOT #48 DOANE-COLLINS ENGINEERING ASSOCIATES, LLC.



CTDEEP COASTAL RESOURCE MAP

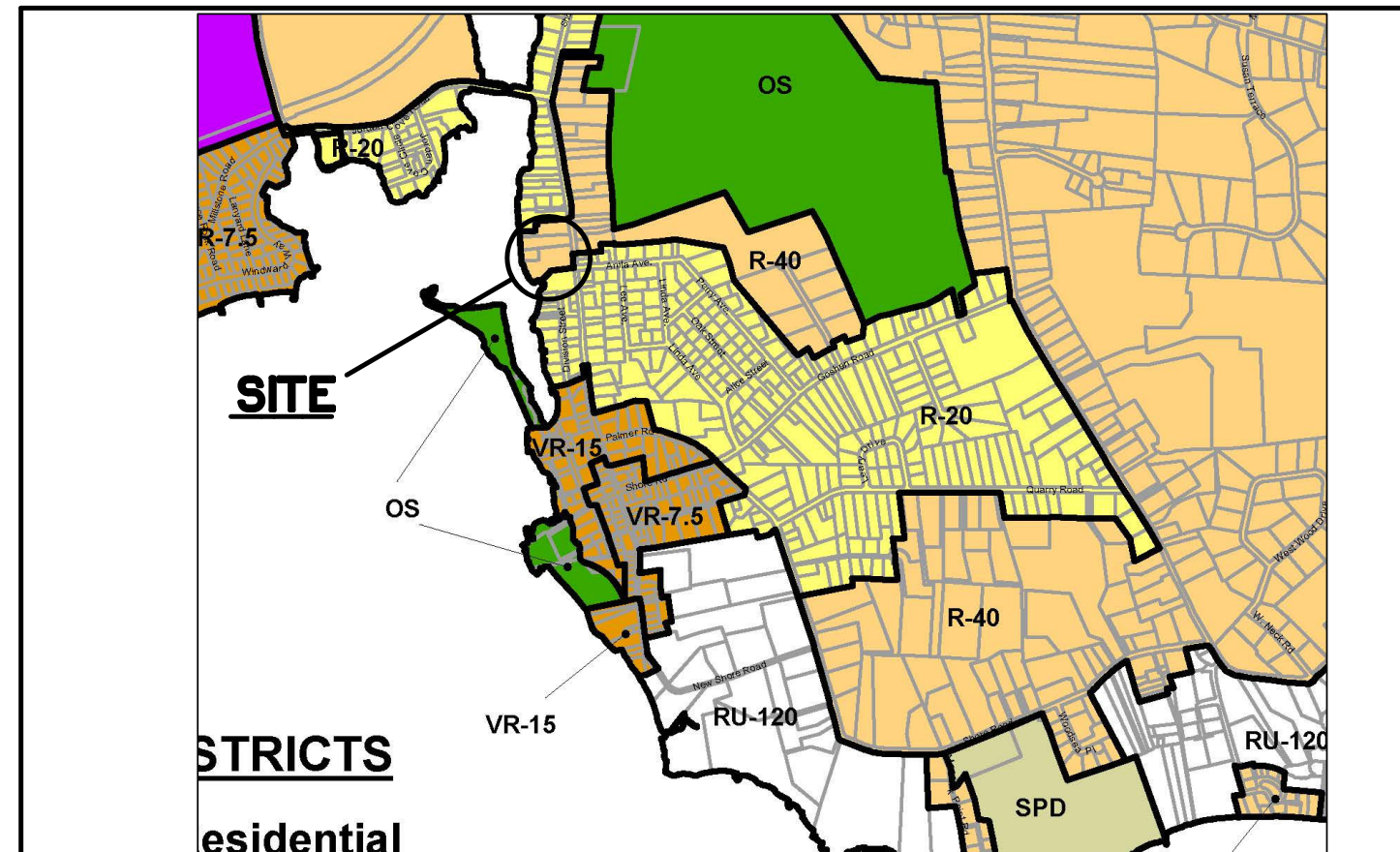
SCALE = NONE

LAND SURVEYOR/AGENT
JAMES BERNARDO LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06385
PHONE: (860) 447-0236 FAX: (860) 447-2092



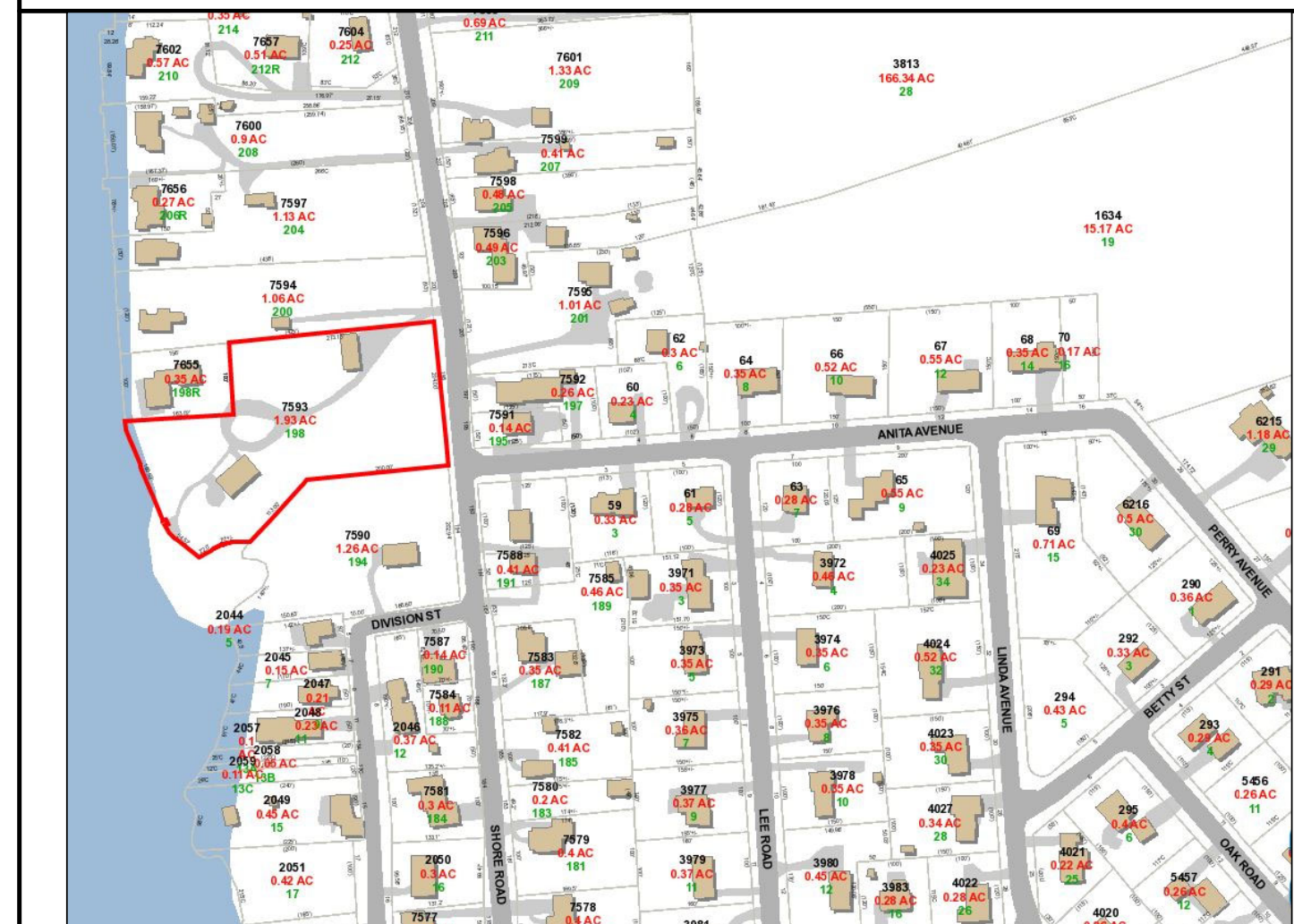
NRCS SOIL MAP

SCALE = NONE



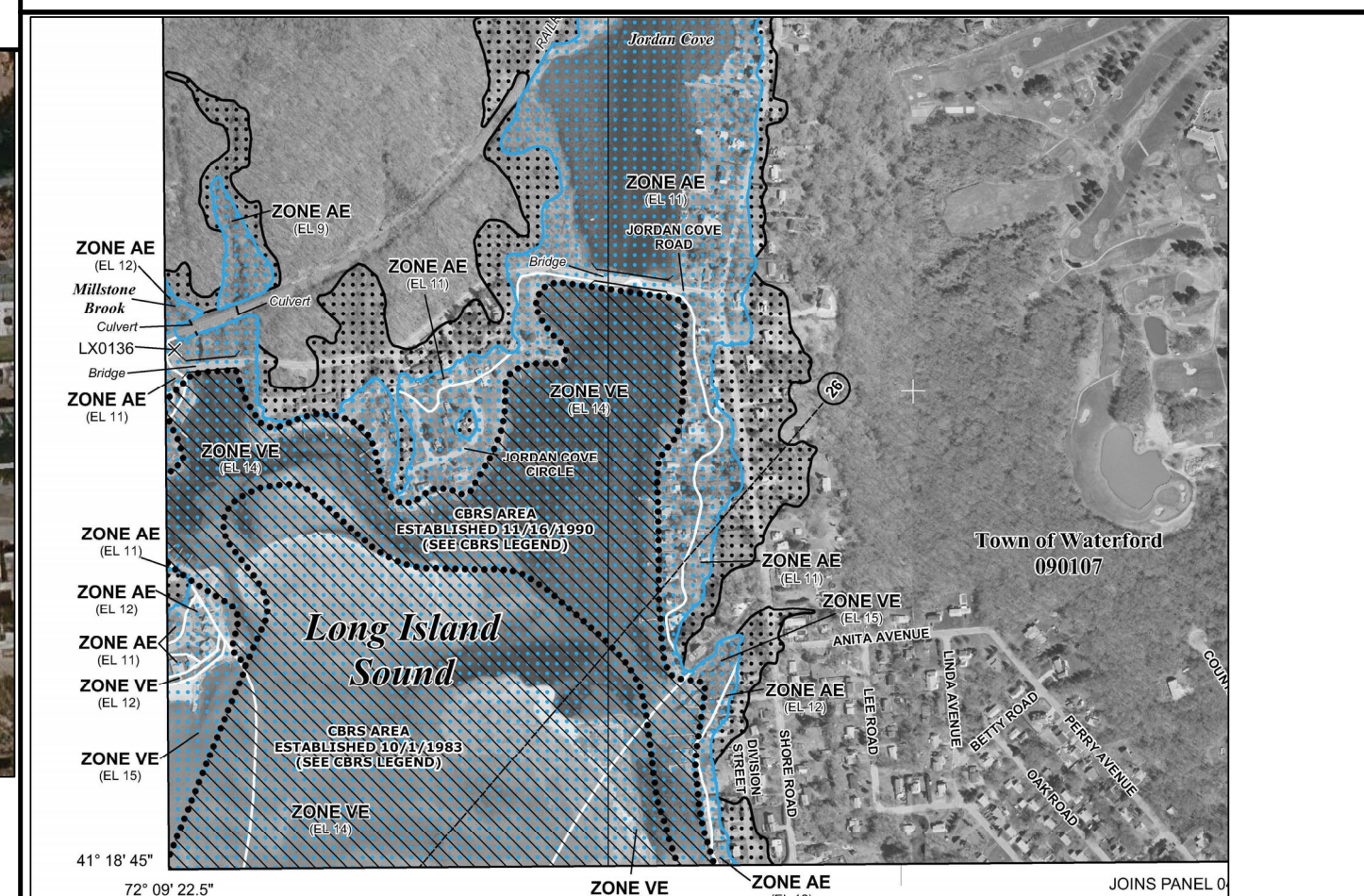
LOCATION / ZONING MAP

SCALE = NONE Lot: 41.3179 Long: -72.1547



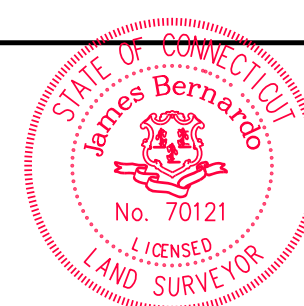
TOWN GIS DATABASE LOCATION MAP

SCALE = NONE M 165 BLU 3670



FEMA FLOOD MAP

SCALE = NONE Source: FEMA FIRM CMP# 09011C0484J 08/05/2013



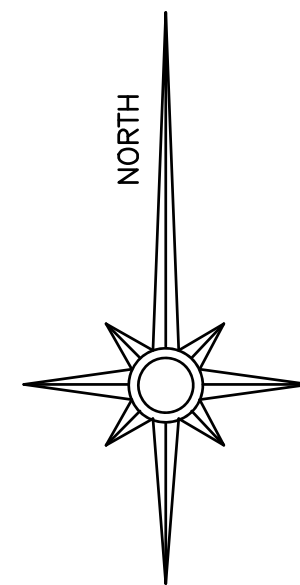
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED ON HEREON.

James Bernardo
JAMES BERNARDO LICENSE #70121

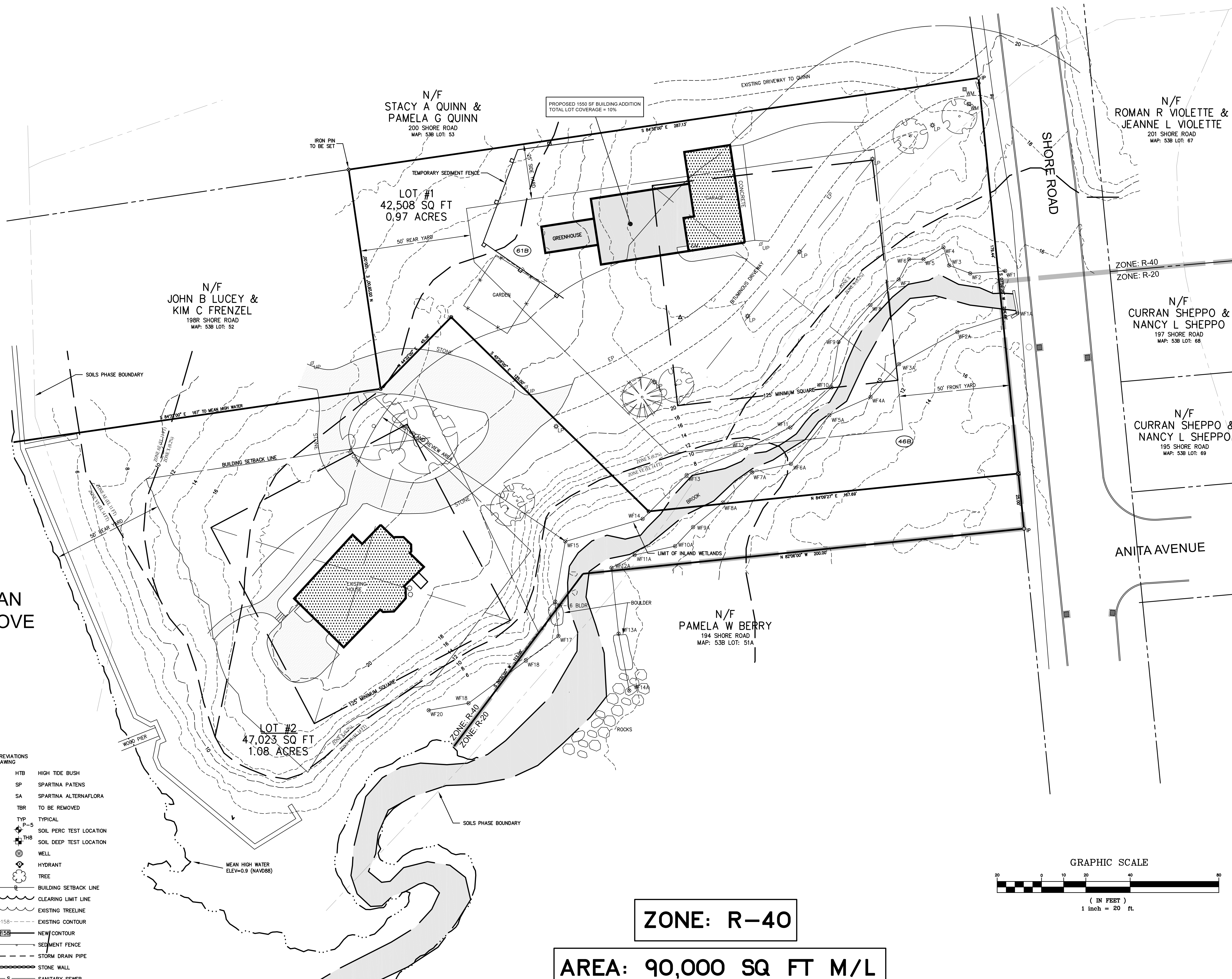
7-13-2021
DATE

I HEREBY CERTIFY THAT I HAVE MARKED THE LIMITS OF THE INLAND WETLANDS ON THE SITE AS SHOWN HEREON.

Joseph Theroux
JOSEPH THEROUX
CERTIFIED SOIL SCIENTIST

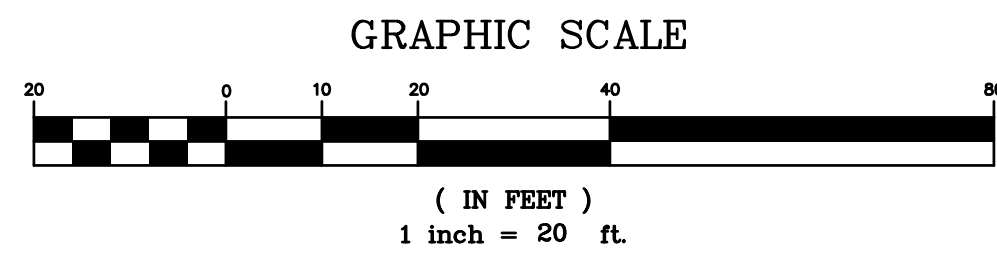


LEGEND			
THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING			
AC	ACRES	HTB	HIGH TIDE BUSH
BF	BASEMENT FLOOR	SP	SPARTINA PATENS
BIT	BITUMINOUS	SA	SPARTINA ALTERNIFLORA
BCLC	BITUMINOUS CONCRETE LIP CURBING	TBR	TO BE REMOVED
CONC	CONCRETE	TYP	TYPICAL
DIA	DIAMETER	P-5	SOIL PERC TEST LOCATION
DB	DISTRIBUTION BOX	THS	SOIL DEEP TEST LOCATION
EOP	EDGE OF PAVEMENT	W	WELL
ELEV	ELEVATION	HYD	HYDRANT
FF	FINISHED FIRST FLOOR	T	TREE
LF	LINEAR FOOT	BSL	BUILDING SETBACK LINE
(MIN)	MINIMUM	CLL	CLEARING LIMIT LINE
M/L	MORE OR LESS	ETL	EXISTING TREELINE
N/F	NOW OR FORMERLY	EC	EXISTING CONTOUR
PVC	POLY VINYL CHLORIDE	NC	NEW CONTOUR
SCH40	SCHEDULE 40	SF	SEDIMENT FENCE
5.4x	SPOT ELEVATION	SDP	STORM DRAIN PIPE
SF	SQUARE FEET	SW	STONE WALL
TR	TO REMAIN	S	SANITARY SEWER
		W	WATER



ZONE: R-40

AREA: 90,000 SQ FT M/L



NOTICE: THESE DOCUMENTS ARE PROTECTED UNDER A PATENT AND ANY REPRODUCTION OR ANY INFORMATION CONTAINED HEREON SHALL NOT BE DUPLICATED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR. THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF THE SURVEYOR.

LTR	DESCRIPTION	DATE
REVISIONS		

LOMBARDI RESUBDIVISION - LOT LAYOUT PLAN

PROPERTY OF

JOHN LOMBARDI, JR

FOR PROPERTY LOCATED AT

198 SHORE ROAD

TOWN OF WATERFORD - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.

S-02

SHEET 2 OF 2

Scale:

1" = 20'

Date

JULY 10, 2021

Project No.

21002-1

JAMES BERNARDO
LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06385
(860) 447-0236
WWW.JBSURVEY.COM